

ADDENDUM NUMBER 2

Project: New Training / Breakroom Facility for
Washington County, Virginia
145679 Industrial Park Road
Bristol, Virginia 24202

Date: April 3, 2024



GENERAL

1. **The Bid Date is set for Thursday, April 11, 2024, until 2:00 p.m., prevailing time.** Bids will be received at the Washington County VA Government Center, 1 Government Place, Abingdon, VA 24210.

DRAWINGS

1. **Refer to Drawing C101, "Site Plan":** This Drawing has been revised to clarify manhole location where the 4-inch PVC sanitary sewer line will connect. Previous version of this Drawing indicated the manhole north of the perimeter fence. It is, however, located south of the perimeter fence and between the fence and the existing Transfer Building.
2. **Refer to Drawing C101, "Site Plan":** This Drawing has been revised to show the 4-inch perforated PVC Foundation Drain location and to show that it is to daylight at the northwest corner of the building, beyond the 1836.00' contour line. Where the Foundation Drain daylights, provide a Wal-Rich type PVC termination vent with a stainless-steel screen.
3. **Refer to Drawing A111, "Reflected Ceiling Plan":** A pull-down attic access ladder is indicated on the plan drawing but no specification was provided. Provide a Werner model # AL2210C aluminum folding attic ladder (22.5" x 54"). In the Attic, provide 3/4" thick plywood attached to the top of the truss bottom chord on the north and west sides x 4'-0" wide.
4. **Refer to Drawing E101, "Electrical Floor Plans":** Provide a weatherproof ground-fault convenience outlet on the front porch. Field determine the best circuit to accommodate this receptacle.
5. **Refer to Drawings A121 - "Roof Plan", A201 - "Exterior Elevations", A301 - "Building Section", A302 - "Wall Section":** All of these Drawings refer to 24 gauge Standing Seam Metal Roofing. It was discussed during the Pre-Bid Meeting that a metal panel system could be substituted but we have not been able to locate a through-fastened panel that has the desired metal gauge and appearance. Therefore, the standing seam requirement will be maintained for bidding purposes. The desired aesthetic is 24-gauge metal with a 14" wide flat panel (no minor ribs or striations allowed). Snap seam systems are acceptable.

6. **Refer to Drawings A201 – “Exterior Elevations”, A301 – “Building Section”, and A302 – “Wall Section”:** All of these Drawings refer to “smooth Hardie panels, trim, and batten boards, painted.” LP “SmartSide” board and batten is an acceptable substitute. All battens and trim boards shall have a smooth finish. All siding shall be field painted.

SPECIFICATIONS

1. **Refer to Part II, Bid Submittal Documents - Bid Form:** The Bid Form has been revised to include a unit price for Excavation and Additional Unsuitable Material. **Bids must be submitted on the Bid Form attached to this Bid Addendum.**
2. **Refer to Section 074600, “Siding”:** Specification is based upon “smooth Hardie panels, trim, and batten boards.” LP “SmartSide” board and batten is an acceptable substitute. All battens and trim boards shall have a smooth finish. All siding shall be field painted.
3. **Refer to Section 064000, “Plastic-Laminate Faced Architectural Cabinets”:** Kitchen cabinets that are typically specified in Section 123530, “Residential Casework” are an acceptable substitute for the casework indicated. Cabinets submitted for consideration shall have KCMA certification and shall have the seal of that organization on each unit in a semi- exposed location. As a Basis of Design product, Legacy Cabinets “Advantage Series / Intense” cabinets are acceptable. Basic specifications are attached for reference. Cabinets will have a solid color finish. For bidding purposes, assume “Charcoal” color. Also for bidding purposes, assume “Sagamore – Shaker” standard door and drawer overlay. Countertops and backsplashes shall be as specified in Section 123661, “Solid Surfacing Countertops”. The sink cabinet shall be maintained as an open ADA compliant section with sloping protective skirt.
4. **Refer to Section 064100, “Plastic-Laminate Clad Countertops”:** Delete this Section in its entirety.

BIDDER QUESTIONS

1. Will the County take care of all surveying? **No.** The County has staked property corners and easements. The Contractor will be responsible for all other surveying required.
2. Has soil been tested prior to Bidding? **No, it has not.** Bid Form has been altered to allow for unit pricing in the event of unsuitable material.
3. Will sewer tap fees be paid by the County? **Yes.**
4. Is manhole on Norfolk Southern right-of-way? **It is not.**
5. Is fence on property line? **It is not.** Attached to this Bid Addendum is a copy of the plat that is on file at the Courthouse. This plat shows the fence well within the property line.
6. Can water line connection location be clarified? **Yes.** The Courthouse plat indicates the existing water line is across the existing pavement from the new building location. It terminates at a fire hydrant. Contractor shall tie into the water line just prior the hydrant connection. This seems to be where the least amount of asphalt pavement will need to be disturbed. Note that, if the asphalt needs to be cut and patched, this work will need to be accomplished on a day and/ or time the Transfer Station is not in use.
7. Can you provide cut / fill quantities and will you confirm the site balances? No effort was made to balance the cut / fill but the amount of soil disturbed is minimal. It is not anticipated this will be an issue. Cut / fill quantities have not been calculated by the A/E.

8. Will silt fence be required? **Yes.** Place silt fence along existing perimeter fence in disturbed area.
9. Can topsoil be stored on site during construction? **Yes.**
10. Can plumbers use typical SCH 40 PVC for 4-inch drain in lieu of cast iron? **Yes, PVC is fine.**
11. Is PEX pipe acceptable for rough-in? **Yes.**

END OF ADDENDUM NO. 2 (10 pages, including attachments)

ATTACHMENTS

Drawing C101, "Site Plan" – Revision 1 dated 04-03-2024.
Courthouse Property Plat indicating approximate water connection.
Bid Form
Acceptable cabinet cut sheets

B I D F O R M

1. Proposal of _____ (hereinafter called "BIDDER"), organized and existing under the laws of the State of _____ doing business as a [] corporation, [] partnership, [] individual. Federal Identification Number: _____, VA State Corporation Commission Identification Number: _____.
2. To the **Washington County, Virginia Government** (hereinafter called "OWNER"). In compliance with your Invitation for Bids packet, BIDDER hereby proposes to perform all WORK for the **New Training / Breakroom Facility for Washington County Solid Waste Disposal** project, at 14579 Industrial Park Road, Bristol VA 24202, in strict accordance with the CONTRACT DOCUMENTS at the price or prices stated below.
3. By submission of this BID, each BIDDER certifies, and in the case of a joint BID each party thereto certifies as to his own organization, that this BID has been arrived at independently, without consultation, communication, or agreement as to any matter relating to this BID with any other BIDDER or with any competitor.
4. **ALL BIDS MUST BE SUBMITTED ON THIS FORM.** Bids will only be accepted where pricing is submitted on this Bid Form. All blank spaces for bid prices must be filled in, in ink or typewriter, and the Bid Form must be fully completed and executed when submitted. The OWNER reserves the right to reject any and all bids.
5. Bidder declares that they have examined the specifications of the materials and services and informed themselves fully in regard to all the conditions pertaining to the materials and services; that they have examined the specifications relative thereto and have read all special provisions furnished prior to the submittal of the Bid; that they have satisfied themselves relative to the materials and services provided.
6. The undersigned BIDDER gives as his/her estimated time for completion **two-hundred-forty (240) consecutive calendar days** and agrees to complete the work within that time after receiving a Notice to Proceed.
7. The BIDDER shall reach Substantial Completion of all work under this contract, as determined by the Architect, within the number of calendar days set forth in the Agreement and Notice to Proceed, as noted above, or otherwise agrees to pay, as liquidated damages, the sum of \$200.00 for each consecutive calendar day thereafter until Substantial Completion is met. Final completion shall be reached within 30 calendar days of the Substantial Completion date; otherwise, the Bidder agrees to pay the sum of \$100.00 for each consecutive calendar day until Final Completion is met, as determined by the Architect.
8. The bidder has relied upon the following public historical climatological records, for inclusion of expected weather days: NWS Weather Forecast Office for Morristown, Tennessee.
9. BIDDER acknowledges receipt of the following ADDENDA:

10. The undersigned hereby proposes and agrees to furnish all necessary labor materials, equipment, tools, and services for the construction required for this project in accordance with the work write-ups, specifications and other Contract Documents prepared by The Lane Group, Inc., for the following amount:

BASE BID (including the following parts):

PART A - Lump sum price for construction of the building complete and in accordance with the Drawings, Specifications, and Addenda:

_____ Dollars (\$ _____).

PART B – EXCAVATION OF ADDITIONAL UNSUITABLE MATERIAL – Excavation of unsuitable material, where authorized or directed, below or in addition of the levels required for the Work in Part A and backfill with acceptable compacted material. (Price per cubic yard). Final amount shall be adjusted upward or downward based on actual quantity authorized.

PART B – Estimated quantity of (____) cubic yards @ \$_____ per cy = \$_____.

Contract award will be based on the **TOTAL BASE BID AMOUNT shown above.**

11. A conditional or qualified Bid will not be accepted.
12. List, describe, and explain any deviations or exceptions to the specifications and requirements for the foregoing Bid: _____

13. BIDDER agrees, if this bid is accepted, to furnish all necessary materials and services in accordance with this bid necessary to complete the Contract in full and complete accordance with the shown, noted, described and reasonably implied requirements of the solicitation attached hereto to the full and entire satisfaction of OWNER, with the definite understanding that no money will be allowed for extra work or extra goods except as set forth in the attached solicitation and any contract that may result from such submitted Bid. The statement on this Bid form shall apply to each element of each bid submitted to the OWNER.
14. In submitting this Bid, it is understood that the right is reserved by the OWNER to reject any and all Bids. If written notice of the acceptance of this Bid is mailed or delivered to the undersigned within thirty (30) days after the opening thereof, or at any time thereafter before this Bid is withdrawn, the undersigned agrees to execute and deliver a Contract in the prescribed form and furnish the required Insurance within ten (10) days after the Contract is presented to him for signature.
15. Security in the sum of \$_____, in the form of a [] Bid Bond, or [] Certified Check is submitted with this Bid in accordance with the Specifications.

16. SUBMITTED BY:

Licensed Class A B Virginia Contractor No. _____.

Valid until _____.
(Date)

Registration title or specialty description _____

I certify that the firm signing this bid and registered under that name is legally qualified to perform all work included in the scope of the Contract as determined by the Commonwealth of Virginia, Department of Commerce, State Board for Contractors, in granting the registration.

CONTRACTOR

BY

TITLE

BUSINESS ADDRESS

DATE

SIGNATURE



INTENSE

CABINET UPGRADE

Heavy Duty Cabinets That Last

Intense provides you with a cabinet that not only looks good, but is tough enough to get the job done.

All plywood is CARB 2/ Title 6 compliant.

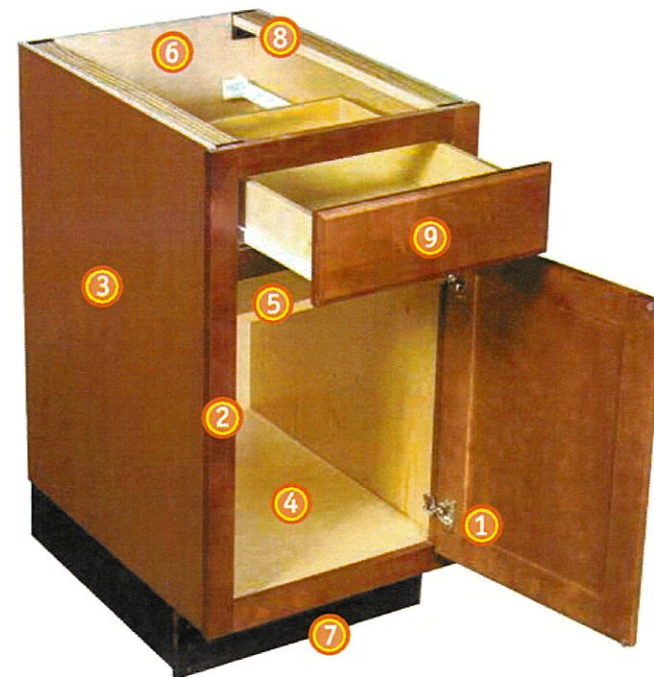
Premium Dovetail Drawers



- 1 HINGES**
Soft Close Door System.
- 2 FACE FRAMES**
1 3/4" x 3/4" solid wood stiles and rails. Center stiles are 3 1/2" x 3/4" solid wood.
- 3 END PANELS**
1/2" thick plywood with matching woodgrain laminated exterior.
- 4 TOPS & BOTTOMS**
1/2" thick plywood.
UV clear finish on Interior.
- 5 SHELVES**
Adjustable, 3/4" thick plywood. UV clear finish on Interior.
(Base Cabinets half-depth).
- 6 BACKS**
1/2" thick plywood.
UV clear finish on Interior.
- 7 BASE TOE KICK**
Pressure treated solid lumber platform toe kick (the front & side).
- 8 STRETCHER RAIL**
3/4" x 1 3/4" front to back.
- 9 PREMIUM DRAWERS**
3/4" thick plywood. UV clear finish.

Drawer Guides: 75 lb capacity
Drawer Box: 3/4" thick sides
Drawer Bottom: 3/16" (5.2mm)
thick bottom

Intense **BUILT TOUGH** Plywood Cabinet Construction Upgrade

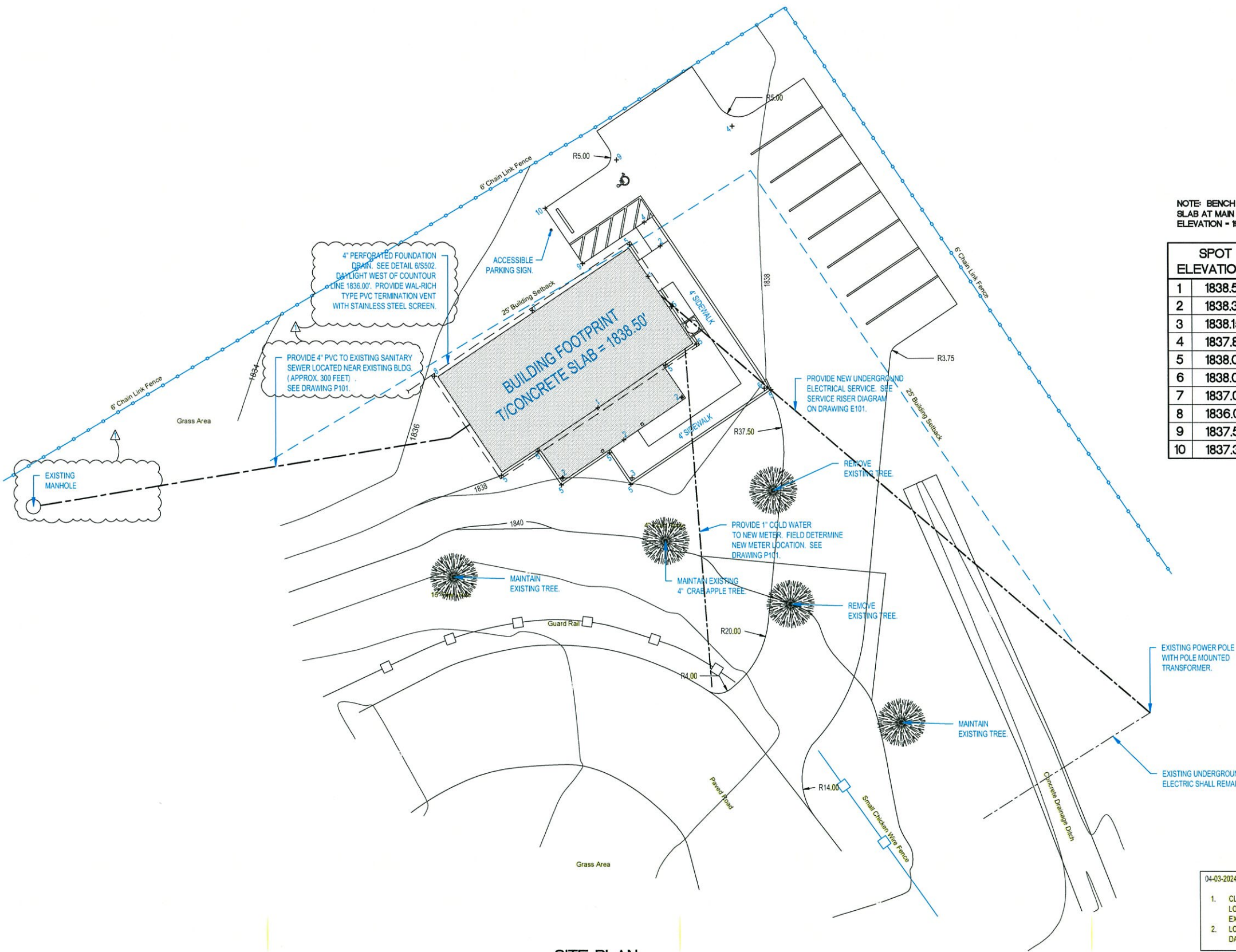




CONSTRUCTION COMPARISON CHART

this one.

STANDARD	VERDE	INTENSE
HINGES: Soft Close Door System	HINGES: Soft Close Door System	HINGES: Soft Close Door System
FACE FRAMES: 1¾" x ¾" solid wood stiles and rails. Center stiles are 3½" x ¾" solid wood.	FACE FRAMES: 1¾" x ¾" solid wood stiles and rails. Center stiles are 3½" x ¾" solid wood.	FACE FRAMES: 1¾" x ¾" solid wood stiles and rails. Center stiles are 3½" x ¾" solid wood.
END PANELS: ½" industrial grade particleboard with natural birch laminated interior and matching wood grain laminated exterior.	END PANELS: ½" thick plywood (CARB 2/ Title 6 compliant) with matching woodgrain laminated exterior.	END PANELS: ½" thick plywood (CARB 2/ Title 6 compliant) with matching woodgrain laminated exterior.
TOPS & BOTTOMS: ½" industrial grade particleboard with natural birch laminated interior.	TOPS & BOTTOMS: ½" thick plywood (CARB 2/ Title 6 compliant) with UV clear finish on Interior.	TOPS & BOTTOMS: ½" thick plywood (CARB 2/ Title 6 compliant) with UV clear finish on Interior.
SHELVES: Adjustable ¾" laminated particleboard. (Base Cabinets half-depth).	SHELVES: Adjustable, ¾" thick plywood (CARB 2/ Title 6 compliant) with UV clear finish on Interior. (Base Cabinets half-depth).	SHELVES: Adjustable, ¾" thick plywood (CARB 2/ Title 6 compliant) with UV clear finish on Interior. (Base Cabinets half-depth).
BACKS: 1/8" laminated hardboard with 3" x ½" hanging rails.	BACKS: ½" thick plywood (CARB 2/ Title 6 compliant) with UV clear finish on Interior.	BACKS: ½" thick plywood (CARB 2/ Title 6 compliant) with UV clear finish on Interior.
BASE TOE KICK: ¾" x 4½" industrial grade particleboard.	BASE TOE KICK: ¾" thick plywood (CARB 2/ Title 6 compliant)	BASE TOE KICK: Pressure treated solid lumber platform toe kick. (The front & side).
CORNER BLOCK: Plastic corner blocks.	STRETCHER RAIL: ¾" x 1¾" front to back.	STRETCHER RAIL: ¾" x 1¾" front to back.
DRAWERS: ½" industrial grade particleboard with natural birch laminate.	DRAWERS: ¾" thick plywood (CARB 2/ Title 6 compliant) with UV clear finish.	DRAWERS: ¾" thick plywood (CARB 2/ Title 6 compliant) with UV clear finish.



NOTE: BENCH MARK IS TOP OF CONCRETE FLOOR SLAB AT MAIN TRANSFER BUILDING 'TIPPING FLOOR,' ELEVATION = 1959.00'.

SPOT ELEVATIONS	
1	1838.50'
2	1838.32'
3	1838.15'
4	1837.83'
5	1838.00'
6	1838.08'
7	1837.08'
8	1836.08'
9	1837.52'
10	1837.35'

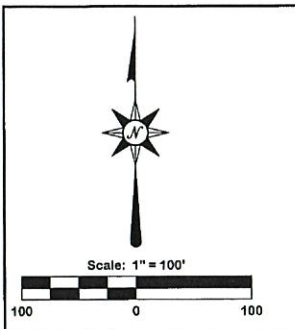
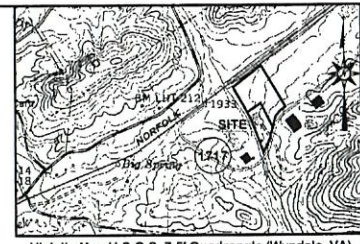
SITE PLAN
SCALE: 1" = 10'
0 10' 20'

- 04-03-2024 DRAWING REVISION NO. 1
1. CLARIFIED LOCATION OF EXISTING SANITARY SEWER MANHOLE. LOCATION IS BETWEEN THE PERIMETER FENCE AND THE EXISTING TRANSFER BUILDING.
 2. LOCATED FOOTING DRAIN ON DRAWING AND INDICATED IT TO DAYLIGHT NORTHWEST OF CONTOUR LINE 1836.00'.

**NEW TRAINING FACILITY FOR
 WASHINGTON COUNTY
 SOLID WASTE DISPOSAL**
 14579 INDUSTRIAL PARK ROAD
 BRISTOL, VIRGINIA 24202

SITE PLAN

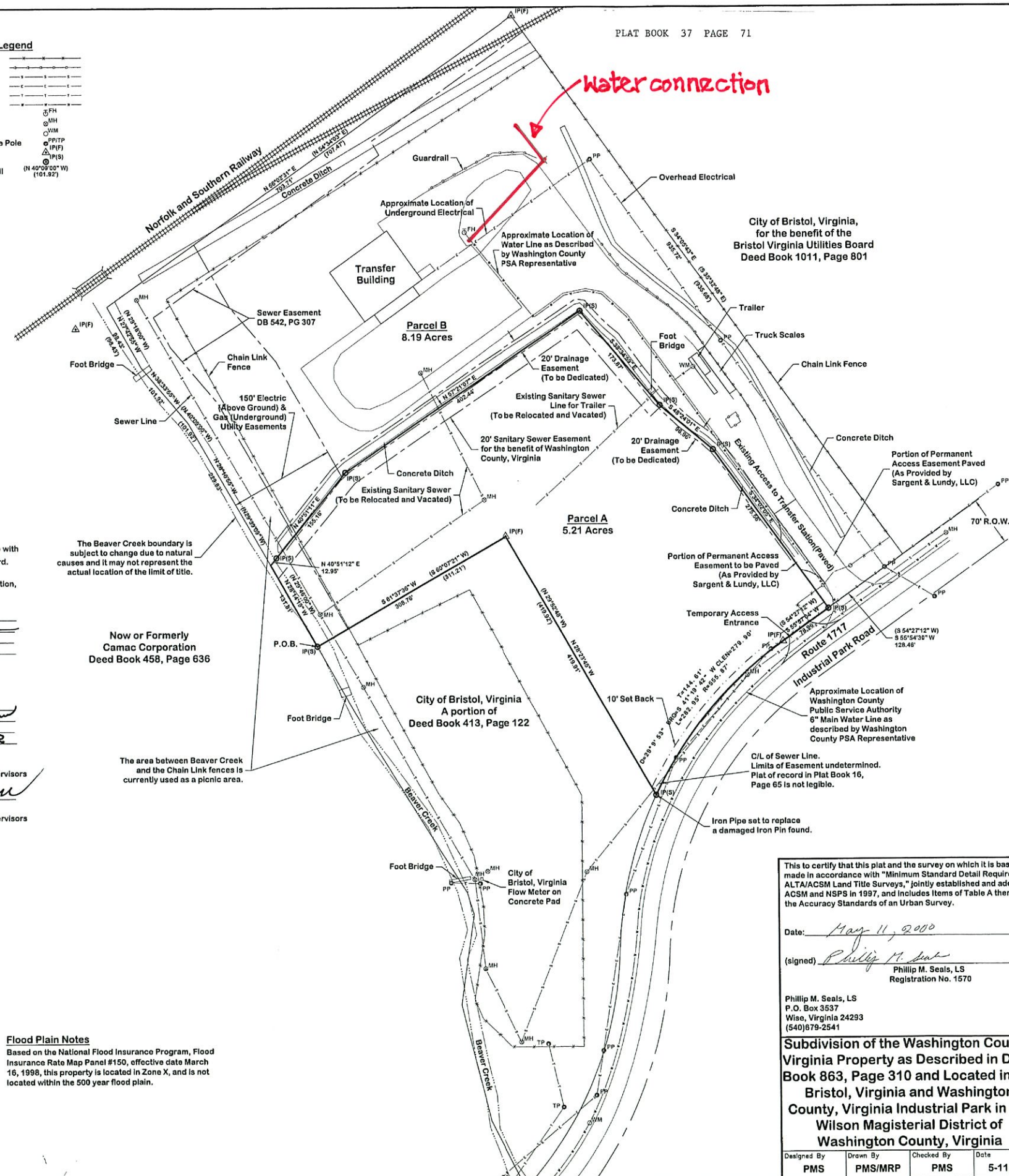
DATE	09-29-2023
NO	REVISION DATE
1	04-03-2024
2	
3	
SHEET	C101
DRAWN BY	CHECKED BY
PROJECT NO	TLG-22135
THE LANE GROUP INC.	



- Legend**
- Fence
 - Guardrail
 - Sewer
 - Electrical
 - Telephone
 - Water Line
 - Fire Hydrant
 - Manhole
 - Water Meter
 - Power/Telephone Pole
 - Iron Pin Found
 - Iron Pipe Set
 - Typical Deed Call

The basis of the bearings shown hereon is the Virginia State Plane, South Zone, Grid Meridian.

This Plat is based on a Field Survey completed November 11, 1999.



CERTIFICATE OF APPROVAL

This subdivision is approved by the undersigned in accordance with existing subdivision regulations and may be committed to record.

Virginia Department of Transportation, Abingdon Residence

Date: 5-16-00
By: *Steven B. Buxton*
Name: STEVEN B. BUXTON
Title: R.E.

Bristol Virginia Utilities Board

Date: 05-12-00
By: *Thomas E. Adams*
Name: THOMAS E. ADAMS
Title: GENERAL MANAGER

Washington County Board of Supervisors
Date: 5-12-00
Cathie Freeman, as Agent for the Washington County Board of Supervisors

Zoning Notes
1) Approval shall be obtained from the Administrator for buildings over 35 feet in height. Cooling towers or accessory facilities not normally occupied by workers are excluded from this limitation.
2) Buildings or groups of buildings with their accessory buildings may cover up to 70% of the area of the lot.

Survey Plat Notes
1) This survey was prepared with the benefit of a Title Commitment prepared and provided by the law firm Hunton & Williams. However, no warranty or guarantee is implied as to the existence of any easement or agreements not set out in said Title Commitment.
2) No grave markers were found, however, no warranty or guarantee is implied as to the existence of any cemeteries or graves.
3) No warranty or guarantee is implied as to the existence of any utilities or buried pipelines which are not visible on the surface or set out in the Title Commitment referred to in note 1 above.

Flood Plain Notes
Based on the National Flood Insurance Program, Flood Insurance Rate Map Panel #150, effective date March 16, 1998, this property is located in Zone X, and is not located within the 500 year flood plain.

The Beaver Creek boundary is subject to change due to natural causes and it may not represent the actual location of the limit of title.

Now or Formerly Camac Corporation Deed Book 458, Page 636

The area between Beaver Creek and the Chain Link fences is currently used as a picnic area.

City of Bristol, Virginia A portion of Deed Book 413, Page 122

City of Bristol, Virginia, for the benefit of the Bristol Virginia Utilities Board Deed Book 1011, Page 801

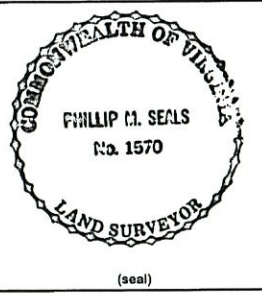
OWNER'S STATEMENT
The above and foregoing subdivision of the Washington County, Virginia property as described in Deed Book 863, Page 310, as appears on this plat is with free consent and in accordance with the desire of the undersigned owners, proprietors, and trustees.

Washington County Board of Supervisors
by: *Paul W. Denton*
Its Board of Supervisors, Chairperson

NOTARIZATION
State of Virginia, County/City of Washington subscribed and sworn before me this 24 day of May 2000
Notary Public Signature: *Phillip M. Seals*
My Commission Expires: 1-31-01

This to certify that this plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1997, and includes items of Table A thereof pursuant to the Accuracy Standards of an Urban Survey.

Date: May 11, 2000
(signed) *Phillip M. Seals*
Phillip M. Seals, LS
Registration No. 1570
Phillip M. Seals, LS
P.O. Box 3537
Wise, Virginia 24293
(540)679-2541



Subdivision of the Washington County, Virginia Property as Described in Deed Book 863, Page 310 and Located in the Bristol, Virginia and Washington County, Virginia Industrial Park in the Wilson Magisterial District of Washington County, Virginia



Designed By: PMS
Drawn By: PMS/MRP
Checked By: PMS
Date: 5-11-00

Project Number: 0258.01
Scale: 1" = 100'
Drawing Number: W-B0728-SP
Sheet: 1 of 1

Virginia: In the Circuit Court Clerk's Office of Washington County, on the 24 day of May, 2000, this instrument was admitted to record.
Teste: *Paul W. Denton*
Chair/Deputy Clerk