

**ADDENDUM NUMBER 1**

**Project:** Additions and Renovations to  
Washington County VA Animal Shelter  
15050 Lee Highway  
Bristol, Virginia 24201

**Date:** October 9, 2023



**GENERAL**

1. A mandatory Prebid Meeting was held at the Washington County VA Government Center, in Abingdon VA, on Thursday, September 28, 2023, in accordance with the Advertisement for Bids. The meeting served to review bidding requirements and give a general overview of the project scope. A visit to the project site followed the meeting. The Agenda (Minutes) and a copy of the Attendance Log are attached to this Addendum for reference. Only the General Contractor's represented at the Prebid Meeting are eligible to bid on the Work.
2. **The Bid Date is set for Tuesday, October 17, 2023, until 2:00 p.m., prevailing time.** Bids will be received at the Washington County VA Government Center, 1 Government Place, Abingdon, VA 24210.
3. It is not expected that hazardous materials, (i.e., asbestos or lead based paint), will be encountered during the work of this contract. If suspect hazardous materials are encountered, do not disturb! Immediately notify the architect and / or the Owner's representative. Suspect materials will then be tested and, if necessary, removed by the Owner under a separate contract.
4. Bidders interested in visiting the project site may make arrangements through Mr. Kevin Hill, Director, Department of General Services. Mr. Hill may be reached at (423) 383-4400 or (276) 525-1355.
5. The successful Bidder will be required to obtain a Building Permit. No fee will be required for this permit.

**BIDDER QUESTIONS**

1. Bidder noted there is a difference between the concrete mix design indicated on the Drawings and the mix design specified in the Project Manual. Bidders shall utilize the mix design indicated on the Drawings.
2. Bidder noted that Drawing A703, "Reception Desk Details" is not included in the Bid Documents. It was noted at the Prebid Meeting that Drawing A703 was not complete by the time Bid Documents were issued and would be made available by this first Bid Addendum. A PDF file of Drawing A703 is attached.
3. Bidder noted that Drawing P106, "Plumbing Details" was not included in the Drawing Index on Drawing T100. That was an oversight. A revised version of Drawing T100 is attached with Drawing P106 listed in the Drawing Index.

4. During the Pre-Bid Meeting site visit, a question was asked about the existing camera system and the existing white noise system. These will not remain. Contractor shall convey the cameras and related recording equipment to the Owner.

## SPECIFICATIONS

1. **Refer to Section 08700, "Door Hardware":** A Door Hardware schedule is attached.

## DRAWINGS

1. **Refer to Drawing T100, "Title Sheet, Drawing Index, and Location Information":** Add Drawing P106, "Plumbing Details" to the Drawing Index. Note has also been added regarding hazardous materials.
2. **Refer to Drawing C102, "Site Plan":** Contractor shall remove the diesel generator and convey it to the Owner on-site. Contractor shall move the generator to the concrete dumpster pad, on the east end of the building, where the Owner will take possession.
3. **Refer to Drawing C102, "Site Plan":** Contractor shall remove the diesel generator's concrete pad and adjacent metal bollards. Extend the synthetic grass into the area where the generator is currently located. Existing fencing shall remain.
4. **Refer to Drawing C103, "Site Details":** At Detail F/C103, a note reads "New Asphalt Pavement. See Detail E/C105." This note should read, "See Detail E/C103."
5. **Refer to Drawing D101, "Demolition Plan":** Remove diesel generator, concrete equipment pad, and metal bollards, as indicated in items 2 and 3, above.
6. **Refer to Drawing A101, "Comprehensive Floor Plan":** All end block at kennel walls (partition type "J"), shall be bullnosed block.
7. **Refer to Drawing A101, "Comprehensive Floor Plan":** End blocks at guillotine dog doors shall be a solid end block, sometimes referred to as a "pillar block." See photo of example of block type intended.



8. **Refer to Drawing A102, "Trench Drain Layout Plan":** The intent of providing a new concrete slab in the kennel area is to provide positive slope drainage into the trench drains such that no standing water accumulates on the slab.
9. **Refer to Drawing A301, "Building Section":** The cross-ventilation panels at the top of each CMU kennel wall shall be as manufactured by Direct Animal Products, (877) 459-7827, or [directanimal.com](http://directanimal.com). Cross-ventilation panels shall be model # D1071-CVP, 16 1/2"

- high x 70 3/4" long. Secure cross-ventilation panels to the top of the CMU with hardware provided by the manufacturer.
10. **Refer to Drawing A601, "Door Schedule"**: Drawing is reissued with revised Door Hardware sets indicated.
  11. **Refer to Drawing A603, "Schedules and Notes / Miscellaneous Details"**: Add cross-ventilation panels to the Appliance and Accessory Schedule. See item 9, above, for manufacturer, model number, and dimensions. Scheduling of cross-ventilation panels as manufactured by Direct Animal Products is not meant to be proprietary. Panels by other manufacturers who regularly engage in the fabrication of similar products will be given consideration as equal products.
  12. **Refer to Drawing A603, "Schedules and Notes / Miscellaneous Details"**: Each of the thirty-five (35) kennels shall be equipped with the following amenities, as manufactured by Direct Animal Products; a) Rotating Food Bowl System 1036-BF, b) Stainless Steel Card Holder CHRD-5 x 7, and c) Starlite Resting Bench D1036-SLRB, blue color. Note that these amenities refer to one side only and not to the side that is accessible through the guillotine doors.
  13. **Refer to Drawing A702, "Interior Elevations"**: Details C/A401, D/A401, and E/A401 indicate the clear dimension from the floor to the wall-hung cabinet above the refrigerator should be 5'-6" (66"). The scheduled refrigerator, however, is 66 3/8" tall. Therefore, the clear dimension from floor to the bottom of the wall-hung cabinet above the refrigerator is changed to 5'-8" (68") and the wall-hung cabinet shall change from WC3618 to WC3616 x 24" deep.
  14. **Refer to Drawing P103, "Domestic Water Piping Floor Plan"**: At the Break Room #108 and the Sheriff's Department #200, extend a freeze-proof hose bibb, P-11, to the outdoors for cleaning the dog run areas.
  15. **Refer to Drawing E103, "Main Level Power & Communications Floor Plan"**: Door #1, (the Sheriff's Department Entrance Door from exterior to Room #200), and Door # 11, (the interior door from Sheriff's Department Room #200 to Animal Shelter Lobby #101), shall be keypad controlled. Contractor shall provide a connection for a keypad-controlled access door from new circuit C-27. Provide 3#12 copper in 3/4" conduit to the designated location at the door frame. Provide stepdown transformer needed to power door controls.
  16. **Refer to Drawing E103, "Main Level Power & Communications Floor Plan"**: The transformer location is not indicated in plan view. Contractor shall coordinate transformer location with Bristol Virginia Utilities. For bidding purposes, Bidders may assume the transformer will be located south of the Sally Port, indicated on Drawing C102. Actual location may differ.
  17. **Refer to Drawing E103, "Main Level Power & Communications Floor Plan"**: The new 600-amp service will require a CT cabinet. This cabinet is not indicated on the drawings.

END OF ADDENDUM NO. 1 (31 pages, including attachments)

**ATTACHMENTS**

Pre-Bid Meeting Agenda (Minutes) – 6 pages

Pre-Bid Meeting Attendance Record – 3 pages

Updated Drawings T100, C102, D101, A101, A601, A603, A702, and A703 – 8 pages

Updated specification Section 08700, "Door Hardware" – 10 pages



## **ADDITIONS AND RENOVATIONS TO WASHINGTON COUNTY**

### **PRE-BID MEETING AGENDA**

September 28, 2023 – 10:00 AM

#### **1) Introduction of Attendees**

- a) Owner: Washington County Government  
1 Government Center Place, Suite A  
Abingdon, Virginia 24210

Mr. Kevin Hill, Director, Department of General Services, Owner's  
Representative

Mr. Bryan McAllister, Department of General Services

- b) Architect/Engineer: The Lane Group, Inc.  
310 West Valley Street  
Abingdon, VA 24210

Mr. Michael Weaver, AIA, Project Manager – (276) 206-8571

- c) All Attendees – This is a **mandatory** pre-bid meeting for those bidding the Additions and Renovations to the Washington County Animal Shelter located at 15050 Lee Highway, Bristol VA 24201. Make sure you sign in on the Attendance Record.

#### **2) Project Scope & Review**

- a) Site work consists of subsurface drainage structures, curbing, asphalt pavement, installation of wheel stops, parking lot striping, installation of metal pipe bollards, ADA compliant accessible parking signage, chain-link fencing, and seeding of disturbed areas.

- b) In addition, the work includes the provisions of architectural, structural, mechanical, and electrical, as indicated on the drawings and in the specifications. The existing building is 6413.33 square feet. Half of that area will be extensively renovated for the dog kennel area. The other half will be renovated to a lesser extent. An addition of 1,475.25 square feet will also be added for additional dog kennel space.
- c) Review Notice of Invitation for Bids. Critical dates, times, and locations are as follows:
- Bid Receipt and Opening – **2:00 PM on Tuesday, October 17, 2023**. Bids are to be addressed to Ms. Tammy Sturgill, Director, Department of Budget and Finance and delivered to Washington County Government Center, 1 Government Place, Suite A, Abingdon, Virginia 24210.
  - A Bid Bond is required.
  - The Contract will be awarded on a lump sum basis as follows: The Total Base Bid Amount including any properly submitted and received bid modifications.
  - “Notice of Award” or “Notice of Intent to Award” will be provided by the Architect.
  - Printed copies of Bid Documents may be obtained for \$300.00 non-refundable fee. Digital copies are also available, in PDF format, for no charge.
- d) Review Instructions to Bidders
- Bidders shall visit the site.
  - No oral explanation regarding the meaning of drawings and specifications will be made and no oral instructions will be given before the award of the contract.
  - Discrepancies, conflicts, errors, omissions or doubts as to the meaning of drawings and specifications shall be communicated in writing to the A/E for interpretation. Bidders must use the “Prebid Question Form” provided in the bid documents. Bidders must act to assure that questions reach the A/E at least seven (7) days prior to the time set for the receipt of bids. No questions will be received after 5:00 p.m. on Tuesday, October 10, 2023. A Bid Addendum summarizing all questions will be issued at that time.
  - Any interpretation made will be in the form of an addendum to the specifications which will be forwarded to all bidders. Receipt of Addendums shall be acknowledged on the Bid Form.
  - Bids shall be submitted on the forms furnished and shall be signed in ink. Bids containing any conditions, omissions, unexplained erasures, alterations or items not called for in the proposal, or irregularities of any kind, may be rejected by the Owner as being incomplete or nonresponsive.
  - Bids with the bid guarantee shall be enclosed in a sealed envelope which shall be marked and addressed as indicated by the Bid Documents.
  - Withdrawal or modification of Bids, Receipt of Bids, Opening of Bids, and Errors in Bids are outlined in the Instructions to Bidders.

- The Owner reserves the right to cancel the Invitation for Bids, to reject any and all bids at the sole discretion when such rejection is in the interest of the Owner, or to reject the bid of any bidder who is determined to be not responsive or not responsible, in accordance with the Code of Virginia, as amended.
  - Each bidder shall be prepared, if requested by the Owner, to present evidence of his/her experience, qualifications and financial ability to carry out the terms of the Contract. References are to be provided on the form included in the Bid Documents.
  - The Contract, if awarded, will be awarded to the lowest responsive and responsible bidder, if any, provided his/her bid is reasonable and in the best interest of the Owner to accept it and subject to the Owner's right to reject any and all bids and to waive informality in the bids and in the bidding.
  - If award of a contract to the lowest responsive and responsible bidder is precluded because of limitations on available funds, the Owner reserves the right to negotiate the Total Base Bid amount with the lowest responsive, responsible bidder to obtain a contract price within available funds. This may involve changes in either the features or scope of the work included in the Base Bid.
  - All permits, local license fees, business fees, taxes, or similar assessments shall be obtained and paid for by the Contractor.
  - Review Pre-bid Question Form: The following question concerns Drawing Sheet (number):
  - The following question concerns Specifications Section (number), page \_\_\_\_, paragraph \_\_\_\_:
- e) Review Bid Form
- Requires lump sum price for construction of building and adjacent site work.
  - Requires total Base Bid Amount.
  - Requires acknowledgment of all Addenda.
  - Requires Federal Identification Number and Virginia State Corporation Commission number.
  - Requires Virginia License No., Business Information, etc.
- f) Review Supplemental General Conditions
- Contractor shall obtain and pay for all required permits, licenses, fees, taxes and assessments, other than the Building Permit.
  - Notice to Proceed will be issued within 10 days after receipt of signed Agreement, applicable bonds, and certificate of insurance.
  - Construction Period Duration: Contractor shall achieve Substantial Completion no later than **240** consecutive calendar days after Notice to Proceed.
  - Final Completion: Contractor shall achieve Final Completion no later than 30 days after Substantial Completion.



- Liquidated Damages: **\$200.00** per calendar day.

### **3) Permits / Coordination**

- a) The Building Permit will be obtained and paid for by the Contractor.
- b) The Contractor shall obtain and pay all other required permits, licenses, fees, taxes, and assessments.
- c) The Contractor shall comply with all permits & licenses, and shall coordinate with authority's construction, inspection, approval and other necessary activities.
- d) Organizations contractor shall coordinate with include, but are not limited to:
  1. Virginia State Fire Marshal's Office,
  2. The Lane Group – Michael Weaver, Project Manager (276) 206-8571
  3. Washington County Government – Mr. Kevin Hill, General Services Director (276) 525-1355.

### **4) Special Conditions**

- a) Parking and material storage. Contractor to supply appropriate signage and traffic barriers to control access to the work site.
- b) Work hours shall be 7:30 AM to 6:00 PM, Monday thru Friday. Weekend work or extended work days shall require prior notification to Owner.
- c) Staging area must be within project boundary.
  1. Porta-Johns shall be supplied by the Contractor and located within the project boundary.
  2. Park all construction related vehicles within project boundary, including worker's personal vehicles.
- d) All temporary utilities such as electricity, water and sewer shall be Owner provided.
- e) Contractor is responsible for preventing construction activity from damaging existing roadways and other site items to remain.
  1. Contractor shall control weight, speed and path of construction vehicles. Construction vehicles to stay on driving surface of roads and parking areas.



5) **Administrative Procedures.**

- a) Bidder shall:
1. Be a Virginia licensed class A contractor.
  2. Include a Bid Bond.
- b) Bid Modifications - It is the Contractor's responsibility to deliver clearly identifiable bids to the correct location prior to the official receipt time on the due date. Refer to Instructions for Bidders regarding procedures for Withdrawal or Modification of Bids.
- c) Questions must be received by The Lane Group on the Pre-Bid Question Form provided in the specifications **on or before 5:00 p.m. October 10, 2023**. Bid questions are to be e-mail to Michael Weaver, [mweaver@thelanegroupinc.com](mailto:mweaver@thelanegroupinc.com).
- d) Addendum No. 1 to be issued no later than 6 days prior to the Bid Receipt Date and will include Plan Holder's List, Pre-Bid Conference Meeting Minutes, List of Pre-Bid Conference Attendees, and responses to submitted Bidder questions.

6) **Review project drawings.**

7) **Owner comments**

- a) Kevin Hill noted that work hours noted in item 4b are to be disregarded. Contractor may work on any day and at any hour.

8) **Questions**

- a) The following items were noted during the site visit and will be addressed by the Architect in a Bid Addendum:
- The existing camera system and white noise speaker system is not to remain. Convey cameras and related equipment to the Owner.
  - The Architect will designate a transformer location for bidding purposes.
  - It was noted that a C. T. cabinet will need to be provided due to the size of the service entrance.
  - The existing diesel generator is to be removed and the area it occupies will become a part of the dog run / play area.
  - Architect will address hazardous materials.
  - Architect will provide a Door Hardware schedule.
  - Architect will provide reception desk details.

9) **Site Visit**

- a) Each Bidder shall visit the site to observe the existing site conditions.

**END OF AGENDA**

ADDITIONS AND RENOVATIONS TO WASHINGTON COUNTY,  
VIRGINIA ANIMAL SHELTER  
September 27, 2023, at 10:00 AM  
Mandatory Prebid Meeting @  
Washington County Government Center

Attendee Name: Josh Fincher  
Company: White Electrical Service  
Email: joshf@wesllva.com  
Phone: 804-591-8162

Attendee Name: Danny Alderman  
Company: KNA Contracting  
Email: dalderman@knacontracting.com  
Phone: 336-462-4397

Attendee Name: Ben Hodges  
Company: Chill Refrigeration LLC  
Email: Ben.h@chillrefrigerationllc.com  
Phone: 540-580-1756

Attendee Name: Jason Brumitt  
Company: Trademark of VA.  
Email: jason@trademarkofva.com  
Phone: 276-466-1008

Attendee Name: BRYAN MCALLISTER  
Company: WASH. CO.  
Email: \_\_\_\_\_  
Phone: \_\_\_\_\_

ADDITIONS AND RENOVATIONS TO WASHINGTON COUNTY,  
VIRGINIA ANIMAL SHELTER  
September 27, 2023, at 10:00 AM  
Mandatory Prebid Meeting @  
Washington County Government Center

Attendee Name: Tammy Sturgill  
Company: Washington County  
Email: tcopenhaver@washcova.com  
Phone: 276-525-1315

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Attendee Name: Jon-Mike Davis  
Company: BurWil construction  
Email: JMDavis@Bur-Wil.com  
Phone: 423-762-8403

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Attendee Name: Kevin Hill  
Company: Washington County  
Email: Khill@washcova.com  
Phone: 276-525-1355

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Attendee Name: MATTHEW LAWE  
Company: THE LAWE GROUP  
Email: MLANE@THELAWEGROUPINC.COM  
Phone: (276)393-1292

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Attendee Name: Michael Weaver  
Company: The Lane Group  
Email: mweaver@thelane-group-inc.com  
Phone: 276/206-8571

ADDITIONS AND RENOVATIONS TO WASHINGTON COUNTY,  
VIRGINIA ANIMAL SHELTER  
September 27, 2023, at 10:00 AM  
Mandatory Prebid Meeting @  
Washington County Government Center

Attendee Name: Lawson Sizemore

Company: JA Street

Email: lsizemore@jastreet.com

Phone: 423-341-3834

Attendee Name: BRANDON SNODGRASS

Company: WASHINGTON COUNTY

Email: bsnodgrass@washcova.com

Phone: 276-525-1370

Attendee Name: \_\_\_\_\_

Company: \_\_\_\_\_

Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Attendee Name: \_\_\_\_\_

Company: \_\_\_\_\_

Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Attendee Name: \_\_\_\_\_

Company: \_\_\_\_\_

Email: \_\_\_\_\_

Phone: \_\_\_\_\_

## SECTION 087000 - DOOR HARDWARE

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. This Section includes the following:
  - 1. Commercial door hardware for the following:
    - a. Swinging doors.
- B. Related Sections include the following:
  - 1. Division 08, Section 081000, "Hollow Metal Doors and Frames."
- C. Products furnished, but not installed, under this Section include the following. Coordinating, purchasing, delivering, and scheduling remain requirements of this Section.

#### 1.3 SUBMITTALS

- A. Product Data: Include construction and installation details, material descriptions, dimensions of individual components and profiles, and finishes.
- B. Qualification Data: For Architectural Hardware Consultant.
- C. Maintenance Data: For each type of door hardware to include in maintenance manuals. Include final hardware and keying schedule.
- D. Warranty: Special warranty specified in this Section.
- E. Other Action Submittals:
  - 1. Door Hardware Sets: Prepared by or under the supervision of Architectural Hardware Consultant, detailing fabrication and assembly of door hardware, as well as procedures and diagrams. Coordinate the final door hardware sets with doors, frames, and related work to ensure proper size, thickness, hand, function, and finish of door hardware.
    - a. Format: Use same scheduling sequence and format and use same door numbers as in the Contract Documents.
    - b. Content: Include the following information:
      - 1) Identification number, location, hand, and material of each door and frame.
      - 2) Type, style, function, size, quantity, and finish of each door hardware item. Include description and function of each lockset and exit device.
      - 3) Complete designations of every item required for each door or opening including name and manufacturer.
      - 4) Fastenings and other pertinent information.

- 5) Location of each door hardware set, cross-referenced to Drawings, both on floor plans and in door and frame schedule.
  - 6) Explanation of abbreviations, symbols, and codes contained in schedule.
  - 7) Mounting locations for door hardware.
  - 8) Door and frame sizes and materials.
- c. Submittal Sequence: Submit the final door hardware sets at earliest possible date, particularly where approval of the door hardware sets must precede fabrication of other work that is critical in Project construction schedule. Include Product Data, Samples, Shop Drawings of other work affected by door hardware, and other information essential to the coordinated review of the door hardware sets.
2. Keying Schedule: Prepared by or under the supervision of Architectural Hardware Consultant, detailing Owner's final keying instructions for locks. Include schematic keying diagram and index each key set to unique door designations.

#### 1.4 QUALITY ASSURANCE

- A. Architectural Hardware Consultant Qualifications: A person who is currently certified by DHI as an Architectural Hardware Consultant and who is experienced in providing consulting services for door hardware installations that are comparable in material, design, and extent to that indicated for this Project.
- B. Source Limitations: Obtain each type and variety of door hardware from a single manufacturer, unless otherwise indicated.

#### 1.5 DELIVERY, STORAGE, AND HANDLING

- A. Inventory door hardware on receipt and provide secure lock-up for door hardware delivered to Project site.
- B. Tag each item or package separately with identification related to the final door hardware sets, and include basic installation instructions, templates, and necessary fasteners with each item or package.
- C. Deliver keys to Owner by registered mail or overnight package service.

#### 1.6 COORDINATION

- A. Templates: Distribute door hardware templates for doors, frames, and other work specified to be factory prepared for installing door hardware. Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing door hardware to comply with indicated requirements.

#### 1.7 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to repair or replace components of door hardware that fail in materials or workmanship within specified warranty period.



1. Failures include, but are not limited to, the following:
  - a. Structural failures including excessive deflection, cracking, or breakage.
  - b. Faulty operation of operators and door hardware.
  - c. Deterioration of metals, metal finishes, and other materials beyond normal weathering and use.
2. Warranty Period: Three years from date of Substantial Completion, except as follows:
  - a. Manual Closers: Ten years from date of Substantial Completion.
  - b. Locksets: Seven years from date of Substantial Completion.

## PART 2 - PRODUCTS

### 2.1 SCHEDULED DOOR HARDWARE

- A. General: Provide door hardware for each door to comply with requirements in this Section.
  1. Door Hardware Sets: Provide quantity, item, size, finish or color indicated, and named manufacturers' products complying with BHMA standard referenced.
- B. Designations: Requirements for design, grade, function, finish, size, and other distinctive qualities of each type of door hardware are indicated in "Door Hardware Sets" Article. Products are identified by using door hardware designations, as follows:
  1. Named Manufacturers' Products: Manufacturer and product designation are listed for each door hardware type required for the purpose of establishing minimum requirements. Manufacturers' names are abbreviated in Part 3 "Door Hardware Sets" Article.
  2. References to BHMA Standards: Provide products complying with these standards and requirements for description, quality, and function.

### 2.2 HINGES

- A. Quantity: Provide the following, unless otherwise indicated:
  1. Three Hinges: For doors with heights 61 to 90 inches.
- B. Template Requirements: Except for hinges and pivots to be installed entirely (both leaves) into wood doors and frames, provide only template-produced units.
- C. Basis of Design Manufacturer for Hinges:
  1. Interior Doors: Standard-weight hinges – Ives 5BB1-WT- 4 ½” x 4 ½” steel ball-bearing hinges.
- D. Hinge Base Metal: Unless otherwise indicated, provide the following:
  1. Interior Hinges: Steel, with steel pin.
  2. Exterior Hinges: Stainless steel, with non-removable stainless steel pin.

### 2.3 MECHANICAL LOCKS AND LATCHES

- A. Lock Functions: Function numbers and descriptions indicated in door hardware sets comply with the following:
  1. Bored Locks: BHMA A156.2.

- B. Bored Locks: BHMA A156.2, Grade 1; Series 4000.
  - 1. Basis of Design Manufacturer for Extra Heavy Duty Cylindrical Lockset:
    - a. Schlage Commercial Lock Division; an Ingersoll-Rand Company (SCH) Extra Heavy Duty Cylindrical Locks ND Series, with Athens (ATH) lever design, 626 satin chrome finish.

## 2.4 LOCK CYLINDERS

- A. High-Security Lock Cylinders: BHMA A156.30, Grade 1.
- B. Cylinders: Schlage Everest C123 keyway, constructed from brass or bronze, stainless steel, or nickel silver, and complying with the following:
  - 1. Number of Pins: Six.
  - 2. Bored-Lock Type: Cylinders with tailpieces to suit locks.
    - a. High-Security Grade: BHMA A156.5, Grade 1A, listed and labeled as complying with pick- and drill-resistant testing requirements in UL 437 (Suffix A).

## 2.5 KEYING

- A. Keying System: Factory registered, complying with guidelines in BHMA A156.28, Appendix A. Incorporate decisions made in keying conference, and as follows:
  - 1. Master Key System: Cylinders are operated by a change key and a master key.
  - 2. New cylinders shall be keyed into the existing master key system so that all locksets operate from same master key.
- B. Keys: Nickel silver.
  - 1. Stamping: Permanently inscribe each key with a visual key control number and include the following notation:
    - a. Notation: "DO NOT DUPLICATE."
  - 2. Quantity: In addition to one extra key blank for each lock, provide the following:
    - a. Cylinder Change Keys: Three.
    - b. Master Keys: Five.

## 2.6 CLOSERS

- A. Accessibility Requirements: Where handles, pulls, latches, locks, and other operating devices are indicated to comply with accessibility requirements, comply with the Department of Justice's "2010 ADA Standards for Accessible Design (ASAD)" and ANSI A117.1.
  - 1. Comply with the following maximum opening-force requirements:
    - a. Interior, Non-Fire-Rated Hinged Doors: 5 lbf applied perpendicular to door.
- B. Door Closers for Means of Egress Doors: Opening force allowable by authorities having jurisdiction. The force for pushing or pulling open a door or gate other than fire doors shall be as follows:
  - 1. Interior, hinged doors: 5 lbs. maximum.

- C. Surface Closers: BHMA A156.4, Grade 1, provide arm required for closer to be located on non-public side of door, and for doors opening to the exterior of the building the closers shall be type that allows installation on the interior side of the door.
  - 1. Basis of Design closers are as scheduled in the Hardware Schedule at the end of this section.
- D. Provide closers on the following doors: As indicated in the Hardware Schedule.

## 2.7 PROTECTIVE TRIM UNITS

- A. Size: 2 inches less than door width on push side and 8 inches high.
- B. Provide kick plates on doors where scheduled in the Hardware Schedule.
- C. Fasteners: Manufacturer's standard machine or self-tapping screws.
- D. Metal Protective Trim Units: BHMA A156.6; beveled top and 2 sides; fabricated from the following material:
  - 1. Material: 0.050-inch- thick stainless steel.
  - 2. Manufacturers: Provide kick plates model number 8400 in 630 finish as manufactured by the following:
    - a. Ives. (IVE): Basis of Design.

## 2.8 STOPS AND HOLDERS

- A. Stops and Bumpers: BHMA A156.16.
- B. Provide the door stops at interior doors where indicated in the Hardware Schedule.
  - 1. Provide wall stops for doors unless other type stops are scheduled or indicated.
- C. Silencers for Metal Door Frames: BHMA A156.16, Grade 1; neoprene or rubber, minimum diameter 3/8 inch; fabricated for drilled-in application to frame.
- D. Manufacturers:
  - 1. Ives (IVE) FS444- Basis of Design.

## 2.9 THRESHOLDS

- A. Standard: BHMA A156.21.
- B. Accessibility Requirements: Where thresholds are indicated to comply with accessibility requirements, comply with the U.S. Architectural & Transportation Barriers Compliance Board's "Americans with Disabilities Act (ADA), Accessibility Guidelines for Buildings and Facilities (ADAAG)." And ANSI A117.1.
  - 1. Bevel raised thresholds with a slope of not more than 1:2. Provide thresholds not more than 1/2 inch high.
- C. Thresholds for Means of Egress Doors: Comply with NFPA 101 and with the ADA. Maximum 1/2 inch high.

- D. Provide products by one of the following:
  - 1. Pemko – 171A.
  - 2. Reese Enterprises (RE) – S205A.
  - 3. Zero International (ZRO) – 544A.

## 2.10 PERIMETER GASKETING AND WEATHER STRIPPING

- A. Door Gasketing: BHMA A156.22; air leakage not to exceed 0.50 cfm per foot of crack length for gasketing other than for smoke control, as tested according to ASTM E 283; with flexible seal strips that are easily replaceable and readily available from stocks maintained by manuf.
  - 1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
    - a. Hager Companies.
    - b. National Guard Products.
    - c. Pemko Manufacturing Co.; an ASSA ABLOY Group company.
    - d. Zero International.
- B. Door Sweeps: Neoprene or Silicone gasket material held in place by flat aluminum housing or flange; surface mounted to face of door with screws.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine doors and frames, with Installer present, for compliance with requirements for installation tolerances, labeled fire door assembly construction, wall and floor construction, and other conditions affecting performance.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 INSTALLATION

- A. Installation: Note that the labor for the installation of door hardware is to be carried out within the scope of Section “Finish Carpentry”.
- B. Mounting Heights: Mount door hardware units at heights indicated on Drawings and as follows unless otherwise required to comply with governing regulations.
  - 1. Standard Steel Doors and Frames: DHI's "Recommended Locations for Architectural Hardware for Standard Steel Doors and Frames."
- C. Key Control System: Tag keys and place them on markers and hooks in key control system cabinet, as determined by final keying schedule.

### 3.3 CLEANING AND PROTECTION.

- A. Clean adjacent surfaces soiled by door hardware installation.

- B. Clean operating items as necessary to restore proper function and finish.
- C. Provide final protection and maintain conditions that ensure that door hardware is without damage or deterioration at time of Substantial Completion.
- D. Provide manufacturers' catalog cut sheets and maintenance manual sheets of all hardware items that have moving or operating parts to the Owner for his maintenance manuals.

PART 4 – DOOR HARDWARE SCHEDULE

**Door Hardware Set #1**

Door #01 from Sheriff's Department #200 to Exterior

Existing hardware on relocated door, except for the following:

1	Card Reader	Owner Provided / Contractor Installed	
1	Threshold	Pemko 171D	Alum.
1	Door Sweep	National Guard 101VDKB	Alum.

**Door Hardware Set #2**

Door #02 from Vestibule # 100 to Exterior

Door #07 from Lobby #101 to Vestibule #100

Existing hardware on each door, except for the following:

1	Threshold (#02 only)	Pemko 171D	Alum.
1	Door Sweep (#02 only)	National Guard 101VDKB	Alum.

Both doors have existing accessible hardware that is to remain. Contractor shall confirm accessible hardware is functional.

**Door Hardware Set #3**

Door #03 from Dog Kennels #126 to Exterior

Door #05 from Dog Kennels #120 to Exterior

Each door to have:

3	Pair Butts	Ives 5-BB-WT- 4 ½" x 4 ½" NRP	US32D
2	Exit Device	Corbin Russwin ED5000 with vertical rods (#59 function)	US32D
2	Closers	LCN 1261	US26D
2	Kickplates	Ives 8" high x 34" wide	US32D
1	Threshold	Pemko 171A	Alum.
2	Door Sweep	National Guard 101V	Alum.
2	Floor Stops	Ives FS 444	US26D
1	Set Weatherstripping	National Guard 160V	Alum.

**Door Hardware Set #4**

Door #04 from Dog Kennels #126 to Exterior

1 1/2 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2" NRP	US32D
1 Exit Device	Corbin Russwin ED5000 Rim Device (#59 function)	US32D
1 Closer	LCN 1261	US26D
1 Kickplates	Ives 8" high x 34" wide	US32D
1 Threshold	Pemko 171A	Alum.
1 Door Sweep	National Guard 101V	Alum.
1 Floor Stops	Ives FS 444	US26D
1 Set Weatherstripping	National Guard 160V	Alum.

**Door Hardware Set #5**

Door #08 from Reception #102 to Office #103

Door #29 from Feeding Area #120A to Procedure #124

Each door to have:

1 1/2 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2"	
1 Lockset	Al50PD (Entrance / Office) ANSI F82	US26D
1 Wall Stop	Ives WS406/407 CCV	US26D
3 Silencers	Ives SR 64	Rubber

**Door Hardware Set #6**

Door #09 from Reception #102 to Files / Office Supplies #104

Door #22 from Lobby #101 to Storage #117

Each door to have:

1 1/2 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2"	
1 Lockset	Al50PD (Storeroom) ANSI F86	US26D
1 Wall Stop (#09 only)	Ives WS406/407 CCV	US26D
1 Floor Stop (#22 only)	Ives FS 444	US26D
3 Silencers	Ives SR 64	Rubber

**Door Hardware Set #7**

Door #10 from Closet #105 to Lobby #101

3 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2"	US26D
2 Latches	AL170 (Dummy) ANSI --	US26D
2 Ball Catches	Ives 347	B26D
2 Overhead Stop	Glynn Johnson 90H Series	US26D

**Door Hardware Set #8**

Door #11 from Sheriff's Department #200 to Lobby #101

1	Card Reader	Owner Provided / Contractor Installed	
1	1/2 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2"	
1	Lockset	A150PD (Entrance / Office) ANSI F82	US26D
1	Overhead Stop	Glynn Johnson 90H Series	US26D
3	Silencers	Ives SR 64	Rubber

**Door Hardware Set #9**

Door #28 from Procedure #124 to Bathroom #125

Door #12 from Sheriff's Department #200 to Unisex Toilet #201

Each door to have:

1	1/2 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2"	US26D
1	Privacy Set	AL40S (Privacy) ANSI F76	US26D
1	Kickplate	Ives 8" high x 34" wide	US32D
1	Floor Stop	Ives FS 444	US26D
1	Coat Hook	Bobrick B6727	US32D
3	Silencers	Ives SR 64	Rubber

**Door Hardware Set #10**

Door # 13 from Lobby #101 to Playroom # 106

Door #14 from Lobby #101 to Playroom # 107

Each door to have:

1	1/2 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2"	US26D
1	Passage Set	AL10S (Passage) ANSI F75	US26D
1	Closer	LCN 1261	US26D
1	Kickplate	Ives 8" high x 34" wide	US32D
1	Wall Stop	Ives WS406/407 CCV	US26D
3	Silencers	Ives SR 64	Rubber



**Door Hardware Set #11**

- Door #24 from Lobby #101 to Cat Quarters #119
- Door # 23 from Cat Quarters #119 to Cat Isolation #118
- Door # 25 from Dog Kennels #120 to Lobby #101
- Door #30 from Dog Isolation # 121 to Dog Kennels #120
- Door #31 from Dog Isolation #121 to Dog Kennels #120
- Door #32 from Dog Kennels #120 to Dog Kennels #126
- Door #33 from Dog Kennels #120 to Dog Kennels #126

Each door to have:

1 1/2 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2"	US26D
1 Passage Set	AL10S (Passage) ANSI F75	US26D
1 Closer	LCN 1261	US26D
1 Kickplate	Ives 8" high x 34" wide	US32D
1 Floor Stop	Ives FS 444	US26D
3 Silencers	Ives SR 64	Rubber

**Door Hardware Set #12**

Door # 25 from Dog Kennels #120 to Lobby #101

Each door to have:

1 1/2 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2"	US26D
1 Passage Set	AL10S (Passage) ANSI F75	US26D
1 Closer	LCN 1261	US26D
1 Kickplate	Ives 8" high x 34" wide	US32D
1 Floor Stop	Ives FS 444	US26D
1 Acoustical Seal Set	Pemko PEMKOSTCSET-1D	Rubber

**Door Hardware Set #13**

Door #35 from Attic Area "C" to Attic Area "B"

1 1/2 Pair Butts	Ives 5-BB-WT- 4 1/2" x 4 1/2"	US26D
1 Passage Set	AL10S (Passage) ANSI F75	US26D
1 Closer	LCN 1261	US26D
1 Set Weatherstripping	National Guard 160V	Alum.

END OF SECTION 087000

# ADDITIONS AND RENOVATIONS TO EXISTING Washington County VA Facility Sheriff's Office - Animal Shelter

15050 Lee Highway - Bristol, Virginia 24201

## BID DOCUMENTS / CONSTRUCTION DOCUMENTS



ARCHITECTURE



STRUCTURAL



MECHANICAL



ELECTRICAL

**the LANE GROUP**  
 engineering 310 Valley Street N.W.  
 architecture Abingdon, VA 24210  
 environmental 276.206.8571 - office  
 Abingdon | Big Stone Gap | Galax  
 www.thelane-group.com

### GENERAL PROJECT INFORMATION

#### PROJECT DATA

**PROJECT**  
 ADDITIONS AND RENOVATIONS TO EXISTING  
 WASHINGTON COUNTY VA FACILITY  
 SHERIFF'S OFFICE - ANIMAL SHELTER  
 15050 LEE HIGHWAY  
 BRISTOL, VIRGINIA 24201

**OWNER / DEVELOPER**  
 WASHINGTON COUNTY, VIRGINIA

**OWNER CONTACT PERSON:** BRYAN McALLISTER  
 TELEPHONE NO.: 276-525-1353

**OWNER CONTACT PERSON:** KEVIN HILL, GENERAL SERVICES MANAGER  
 TELEPHONE NO.: 276-525-1355

#### DESIGNERS OF RECORD

DISCIPLINE	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECT	D. MICHAEL WEAVER, AIA	VA 009031	276-206-8511
LANDSCAPE	N.A.		
CIVIL ENGR.	MATTHEW LANE, P.E.	VA 034173	276-206-8511
STRUCTURAL	JOHN L. JACOBS, P.E.	VA 016910	423-187-7828
PLUMBING	DERWIN CARTMEL, P.E.	VA 031491	423-426-5991
HVAC	DERWIN CARTMEL, P.E.	VA 031491	423-426-5991
SPRINKLER	N.A.		
ELECTRICAL	JOE W. RIGGS, P.E.	VA 022741	423-426-5991
FIRE ALARM	N.A.		

IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED DURING THE WORK OF THIS CONTRACT. IF SUSPECT HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB! IMMEDIATELY NOTIFY THE ARCHITECT AND / OR THE OWNER'S REPRESENTATIVE.

SUSPECT MATERIALS WILL THEN BE TESTED AND, IF NECESSARY, WILL BE REMOVED BY THE OWNER UNDER A SEPARATE CONTRACT.

### DRAWING INDEX

T100	TITLE SHEET, DRAWING INDEX, AND LOCATION INFORMATION
6101	PROJECT INFORMATION
<b>SITE / CIVIL</b>	
C101	PROPERTY SURVEY
C102	SITE PLAN
C103	SITE DETAILS
<b>STRUCTURAL</b>	
S101	FOUNDATION PLAN
S102	L-INTEL PLAN
S103	ROOF FRAMING PLAN
S200	STRUCTURAL NOTES
S201	STRUCTURAL DETAILS
<b>ARCHITECTURE</b>	
D101	DEMOLITION FLOOR PLAN
A010	PARTITION TYPES / PARTITION DETAILS
A101	COMPREHENSIVE FLOOR PLAN
A102	TRENCH DRAIN LAYOUT
A103	ATTIC FLOOR PLAN
A111	REFLECTED CEILING PLAN
A121	ROOF PLAN
A122	ROOF DETAILS
A201	ELEVATIONS - WEST AND NORTH
A202	ELEVATIONS - EAST AND SOUTH
A301	BUILDING SECTION
A302	WALL SECTION
A303	WALL SECTION
A401	ENLARGED FLOOR PLANS / TOILET ACCESSORY SCHEDULE
A601	DOOR SCHEDULE
A602	DOOR AND FRAME ELEVATIONS AND DETAILS / GLAZING SCHEDULE
A603	SCHEDULES AND DETAILS
A701	FINISH SCHEDULE
A702	INTERIOR ELEVATIONS
A703	RECEPTION DESK DETAILS

### DRAWING INDEX

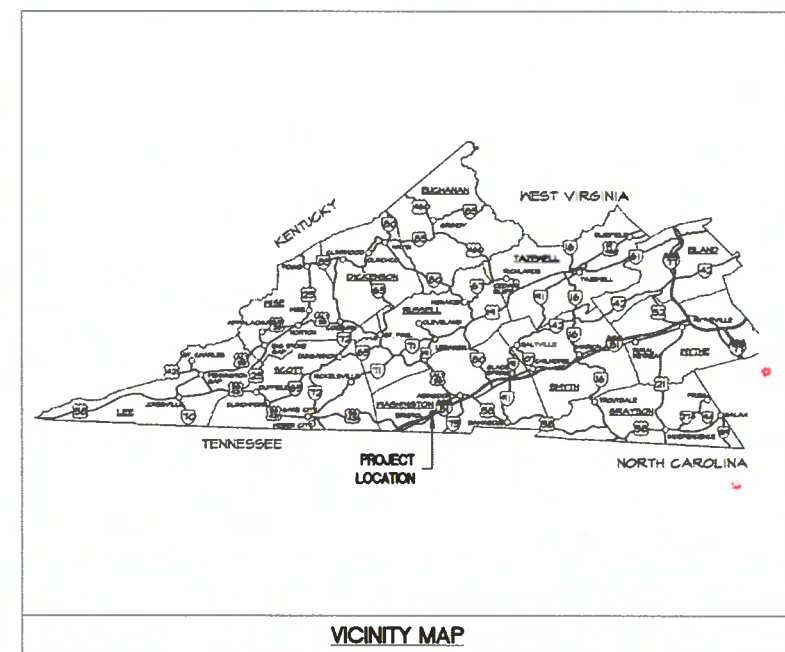
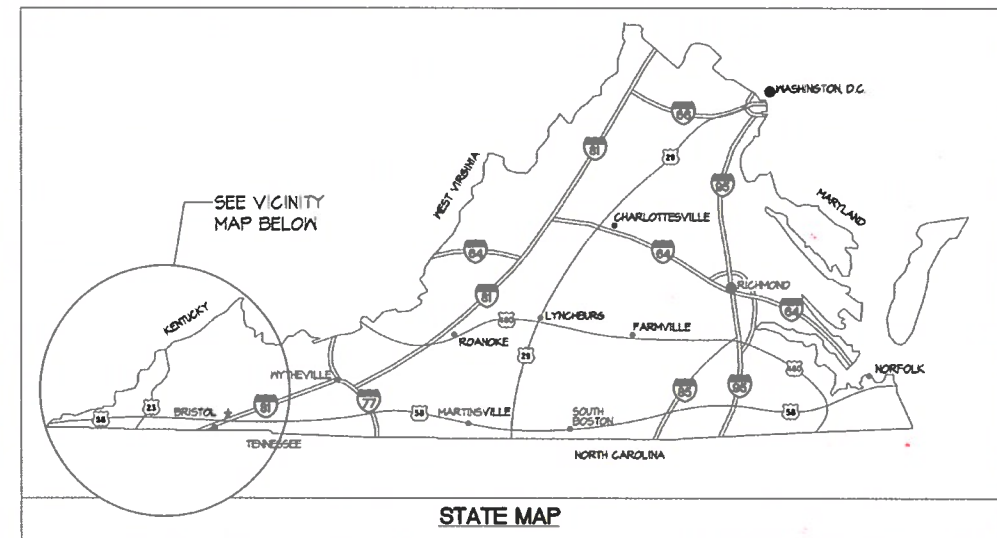
<b>MPE SPECIFICATIONS</b>	
MPE101	MECHANICAL, PLUMBING, & ELECTRICAL SPECIFICATIONS
MPE102	MECHANICAL, PLUMBING, & ELECTRICAL SPECIFICATIONS
<b>GAS PLUMBING</b>	
GP101	GAS PIPING FLOOR PLAN
<b>PLUMBING</b>	
P101	SANITARY SEWER, WASTE & VENT PIPING FLOOR PLAN
P102	SANITARY SEWER, WASTE & VENT PIPING FLOOR PLAN
P103	DOMESTIC WATER PIPING FLOOR PLAN
P104	DOMESTIC WATER PIPING FLOOR PLAN
P105	PLUMBING DETAILS
P106	PLUMBING DETAILS
<b>MECHANICAL</b>	
M101	MECHANICAL FLOOR PLAN
M102	MECHANICAL DETAILS
<b>ELECTRICAL</b>	
E101	MAIN LEVEL LIGHTING FLOOR PLAN
E102	ATTIC ELECTRICAL PLAN
E103	MAIN LEVEL POWER & COMMUNICATIONS FLOOR PLAN

### HAZARDOUS MATERIALS

IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED DURING THE WORK OF THIS CONTRACT. IF SUSPECT HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB! IMMEDIATELY NOTIFY THE ARCHITECT AND / OR THE OWNER'S REPRESENTATIVE.

SUSPECT MATERIALS WILL THEN BE TESTED AND, IF NECESSARY, WILL BE REMOVED BY THE OWNER UNDER A SEPARATE CONTRACT.

10-05-2023  
 ADDED DRAWING P106, PLUMBING DETAILS, TO DRAWING INDEX.  
 ADDED HAZARDOUS MATERIALS NOTE.  
 ISSUED DRAWING A703, RECEPTION DESK DETAILS.



**PROJECT**  
 ADDITIONS AND RENOVATIONS TO EXISTING  
 WASHINGTON COUNTY VA  
 SHERIFF'S OFFICE - ANIMAL SHELTER  
 15050 LEE HIGHWAY  
 BRISTOL, VA 24201  
 TLG PROJECT NO. 22136

**TITLE SHEET**  
 DRAWING INDEX  
 LOCATION INFORMATION

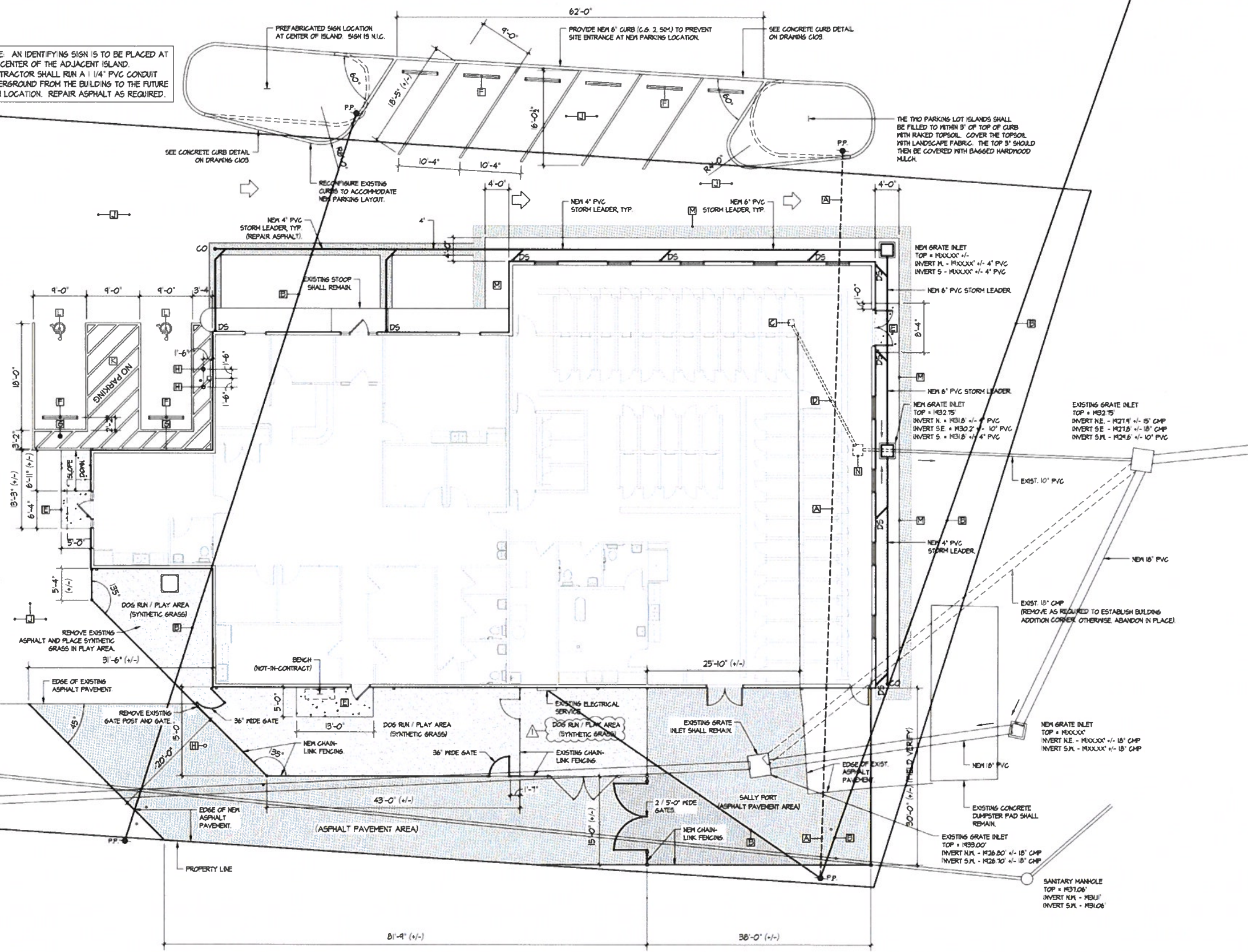
**T-100**  
 Date 06-30-2023  
 10-05-2023



NOTE: AN IDENTIFYING SIGN IS TO BE PLACED AT THE CENTER OF THE ADJACENT ISLAND. CONTRACTOR SHALL RUN A 1/4" PVC CONDUIT UNDERGROUND FROM THE BUILDING TO THE FUTURE SIGN LOCATION. REPAIR ASPHALT AS REQUIRED.

**SITE PLAN KEY NOTES**

- A. COORDINATE OVERHEAD ELECTRICAL LINE RELOCATION WITH UTILITY.
- B. EXISTING OVERHEAD ELECTRICAL SERVICE LINE SHALL REMAIN.
- C. REMOVE EXISTING 12" X 12" SUMP PUMP AT EXISTING BUILDING CORNER.
- D. REMOVE EXISTING 4" PVC STORM LEADER.
- E. 4000 PSI X 4" THICK AIR-ENTRAINED CONCRETE STOOOP ON 4" NO. 5T STONE BASE. REINFORCE WITH 6 X 6 X 1/4" / 1/4" HELDED WIRE FABRIC. PLACE WIRE FABRIC IN TOP THIRD OF CONCRETE. TOP OF CONCRETE STOOOP FLUSH WITH FLOOR LEVEL. HARP ADJACENT ASPHALT TO BE FLUSH WITH TOP OF CONCRETE STOOOP ON THREE SIDES, EXCEPT AT SHERIFF'S OFFICE ENTRANCE WHERE TOP OF SLAB WILL BE APPROX. 6" ABOVE THE ASPHALT AT THE DOOR. TURN EDGES DOWN 1'-0" / 4" X 6" X 6'-0" LONG W/ RESISTANT RECYCLED PLASTIC WHEELSTOPS, WHERE INDICATED. PROVIDE MOUNTING HARDWARE SUITABLE FOR ASPHALT PAVEMENT. BASIS OF DESIGN SHALL BE ITEM # "ULTRAMATZ" AS MANUFACTURED BY IDEALSHIELD. COLOR AT TWO ACCESSIBLE PARKING SPACES SHALL BE BLUE. COLOR AT ALL OTHER SPACES SHALL BE GRAY.
- F. ADA COMPLIANT PARKING SIGNAGE AT CENTERLINE OF ACCESSIBLE PARKING SPACES. LOCATE SIGNAGE FOR SPACE CLOSEST TO BUILDING ENTRANCE ON THE BUILDING WALL. LOCATE SIGNAGE FOR THE OTHER SPACE 1'-0" BACK FROM THE CENTERLINE OF THE PARKING SPACE STRIPE. SEE SIGN DETAIL ON DRAWING CS01. PAINT POST TO MATCH BOLLARD COVER.
- G. 6-INCH DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD. CUT CONCRETE FLUSH WITH TOP OF BOLLARD AND PROVIDE A 1/4-INCH THICK HOPE DOMED PLASTIC COVER. BASIS OF DESIGN BOLLARD COVER SHALL BE AS MANUFACTURED BY IDEALSHIELD. BOLLARD COLOR SHALL BE BROWN (PANTONE COLOR "P0 440C").
- H. SEAL EXISTING ASPHALT PAVEMENT WITH AN OPAQUE ASPHALT SEALER AND STRIPE PARKING AREA AS INDICATED. ALL PAVEMENT STRIPES SHALL BE 4" WIDE WHITE COLOR. AT ACCESSIBLE AISLE PAINT DIAGONAL LINES AT A 45-DEGREE ANGLE AND AT 2'-0" ON CENTER. STRIPES SHALL BE 4" WIDE WHITE COLOR. VAN ACCESSIBLE AISLE SHALL BE 9'-0" WIDE. PAINT THE WORDS "NO PARKING" IN 12" HIGH BLOCK LETTERS WHERE INDICATED IN WHITE COLOR. CENTER TEXT BETWEEN DIAGONAL STRIPES.
- I. PAINT THE INTERNATIONAL HANDICAPPED SYMBOL AT THE CENTERLINE OF EACH ACCESSIBLE PARKING SPACE USING A PROFESSIONALLY FABRICATED STENCIL. PAINT SYMBOL APPROX. 3'-0" HIGH, WHITE COLOR. ALIGN THE BOTTOM OF THE WHEELCHAIR WITH THE END OF ADJACENT PARKING LOT STRIPES. ALTERNATELY, PROVIDE AN ADA PAVEMENT "DECAL" # 84-14-3168 AS MANUFACTURED BY STIPE-PAINTING.COM OR ARCHITECT APPROVED EQUAL.
- J. SAW CUT AND REMOVE EXISTING ASPHALT PAVEMENT BACK 4'-0" FROM FACE OF NEW BUILDING ADDITION. PROVIDE LANDSCAPE FABRIC AND STONE FILL TO MATCH EXISTING STONE. REMOVE / RELOCATE EXISTING GRATE INLET.



**SITE PLAN**

SCALE: 1/8" = 1'-0"



10-05-2023  
CHANGED GENERATOR AREA WITH PEA GRAVEL SURFACING TO DOG RUN / PLAY AREA WITH SYNTHETIC GRASS.

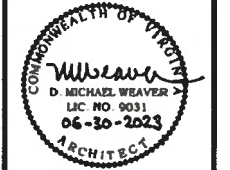
310 Valley Street NW  
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276.206.8571 - office

engineering  
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environmental

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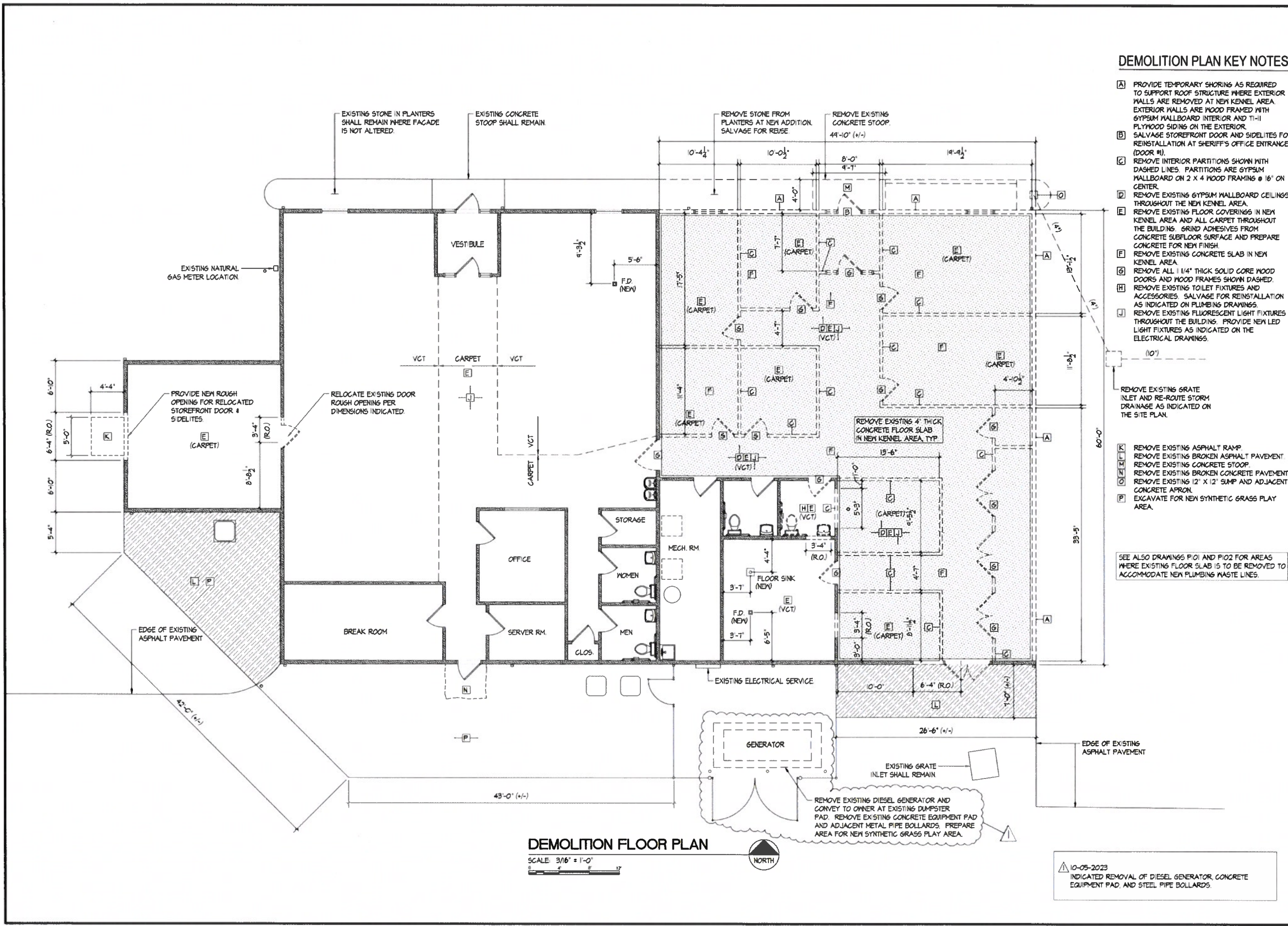
**BUILDING RENOVATION FOR**  
WASHINGTON COUNTY, VIRGINIA  
**ANIMAL SHELTER**  
15050 LEE HIGHWAY  
BRISTOL, VIRGINIA 24201

**SITE PLAN**



DATE	06-30-2023
NO.	REVISION DATE
1	10-05-2023
2	
3	
SHEET	C102
DRAWN BY	CHECKED BY
PROJECT NO.	TLG-22138
THE LANE GROUP INC.	





**DEMOLITION PLAN KEY NOTES**

- A** PROVIDE TEMPORARY SHORING AS REQUIRED TO SUPPORT ROOF STRUCTURE WHERE EXTERIOR WALLS ARE REMOVED AT NEW KENNEL AREA. EXTERIOR WALLS ARE WOOD FRAMED WITH GYPSUM WALLBOARD INTERIOR AND T-11 PLYWOOD SIDING ON THE EXTERIOR.
- B** SALVAGE STOREFRONT DOOR AND SIDELITES FOR REINSTALLATION AT SHERIFF'S OFFICE ENTRANCE (DOOR #1).
- C** REMOVE INTERIOR PARTITIONS SHOWN WITH DASHED LINES. PARTITIONS ARE GYPSUM WALLBOARD ON 2 X 4 WOOD FRAMING @ 16" ON CENTER.
- D** REMOVE EXISTING GYPSUM WALLBOARD CEILING THROUGHOUT THE NEW KENNEL AREA.
- E** REMOVE EXISTING FLOOR COVERINGS IN NEW KENNEL AREA AND ALL CARPET THROUGHOUT THE BUILDING. GRIND ADHESIVES FROM CONCRETE SUBFLOOR SURFACE AND PREPARE CONCRETE FOR NEW FINISH.
- F** REMOVE EXISTING CONCRETE SLAB IN NEW KENNEL AREA.
- G** REMOVE ALL 1 1/4" THICK SOLID CORE WOOD DOORS AND WOOD FRAMES SHOWN DASHED.
- H** REMOVE EXISTING TOILET FIXTURES AND ACCESSORIES. SALVAGE FOR REINSTALLATION AS INDICATED ON PLUMBING DRAWINGS.
- J** REMOVE EXISTING FLUORESCENT LIGHT FIXTURES THROUGHOUT THE BUILDING. PROVIDE NEW LED LIGHT FIXTURES AS INDICATED ON THE ELECTRICAL DRAWINGS.

REMOVE EXISTING GRATE INLET AND RE-ROUTE STORM DRAINAGE AS INDICATED ON THE SITE PLAN.

- K** REMOVE EXISTING ASPHALT RAMP.
- M** REMOVE EXISTING BROKEN ASPHALT PAVEMENT.
- N** REMOVE EXISTING CONCRETE STOOP.
- O** REMOVE EXISTING BROKEN CONCRETE PAVEMENT.
- P** REMOVE EXISTING 12" X 12" SUMP AND ADJACENT CONCRETE APRON.
- Q** EXCAVATE FOR NEW SYNTHETIC GRASS PLAY AREA.

SEE ALSO DRAWINGS P101 AND P102 FOR AREAS WHERE EXISTING FLOOR SLAB IS TO BE REMOVED TO ACCOMMODATE NEW PLUMBING WASTE LINES.

**DEMOLITION FLOOR PLAN**

SCALE 3/16" = 1'-0"



10-05-2023 INDICATED REMOVAL OF DIESEL GENERATOR, CONCRETE EQUIPMENT PAD, AND STEEL PIPE BOLLARDS.

310 Valley Street NW  
Abingdon, VA 24210  
276.206.8571 - office

engineering  
architecture  
environmental

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**BUILDING RENOVATION FOR  
WASHINGTON COUNTY, VIRGINIA  
ANIMAL SHELTER**

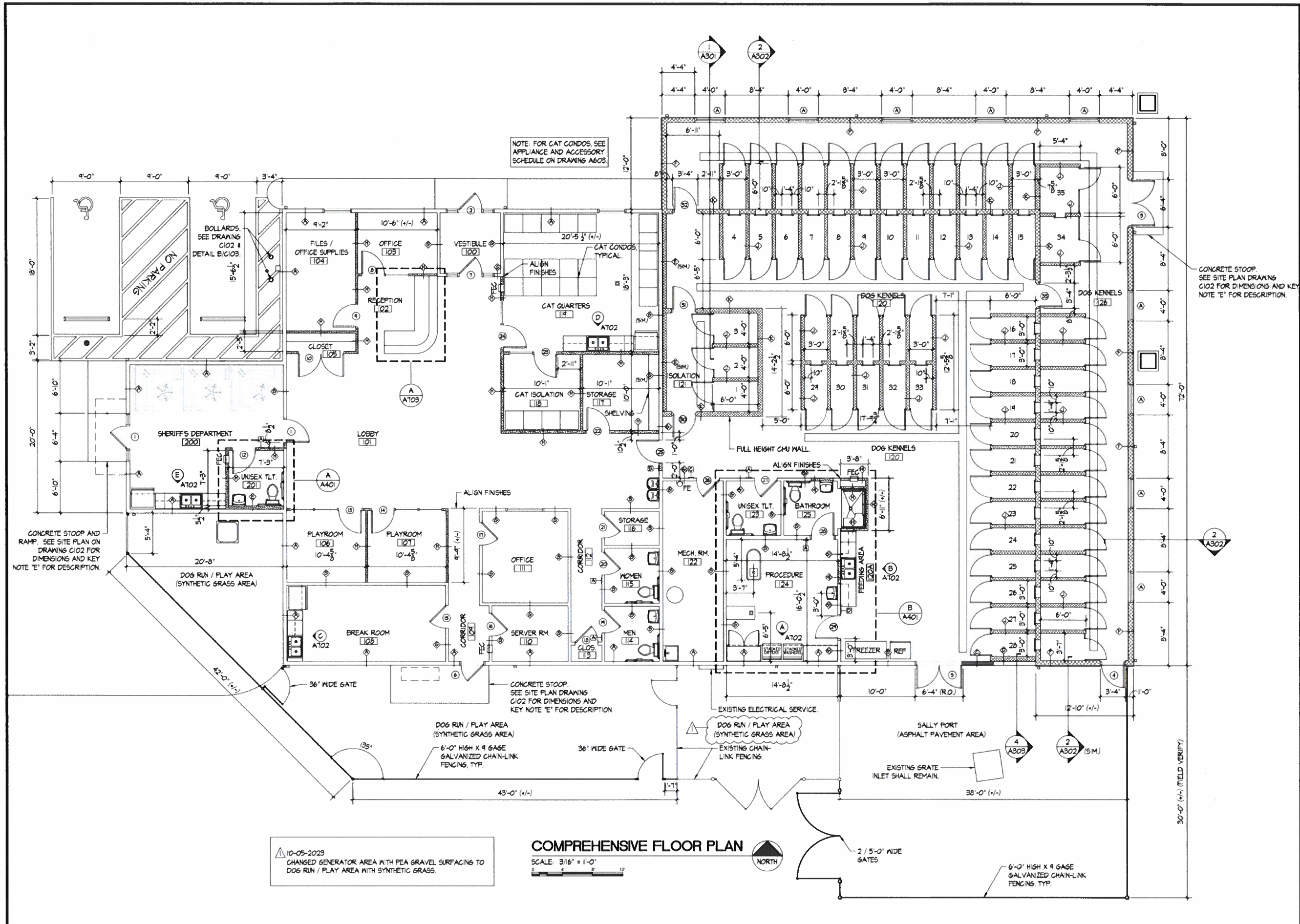
15050 LEE HIGHWAY  
BRISTOL, VIRGINIA 24201

DEMOLITION FLOOR PLAN



DATE	06-30-2023
NO.	REVISION DATE
1	10-05-2023
2	
3	
SHEET	D101
DRAWN BY	CHECKED BY
PROJECT NO.	TLG-22136
THE LANE GROUP INC.	





NOTE: FOR CAT CONDOS, SEE APPLIANCE AND ACCESSORY SCHEDULE ON DRAWING A603.

CONCRETE STOOP SEE SITE PLAN DRAWING C102 FOR DIMENSIONS AND KEY NOTE 'E' FOR DESCRIPTION.

CONCRETE STOOP AND RAMP. SEE SITE PLAN ON DRAWING C102 FOR DIMENSIONS AND KEY NOTE 'E' FOR DESCRIPTION.

CONCRETE STOOP. SEE SITE PLAN DRAWING C102 FOR DIMENSIONS AND KEY NOTE 'E' FOR DESCRIPTION.

10-05-2023  
CHANGED GENERATOR AREA WITH PEA GRAVEL SURFACING TO DOG RUN / PLAY AREA WITH SYNTHETIC GRASS.

**COMPREHENSIVE FLOOR PLAN**  
SCALE: 3/16" = 1'-0"  
NORTH



DATE	06-30-2023
NO	REVISION DATE
1	10-05-2023
2	
3	
SHEET	A101
DRAWN BY	CHECKED BY
PROJECT NO	TLG-22138
THE LANE GROUP INC.	

DOOR SCHEDULE

MARK	FROM ROOM	TO ROOM	DOORS								FRAMES					FIRE RATING	HARDWARE SET NO.	REMARKS
			WIDTH	HEIGHT	THK.	MATERIAL	CORE	TYPE	FINISH	GLASS	MATERIAL	FINISH	JAMB	HEAD	ELEV.			
1	SHERIFF'S DEPT. 200	EXTERIOR	3'-0"	7'-0"	1 3/4"	ALUMINUM STOREFRONT	--	--	EXISTING	EXIST.	ALUMINUM STOREFRONT	EXISTING	--	--	SEE SMT. A201	--	HM-1	EXISTING DOOR TO BE RELOCATED.
2	VESTIBULE 100	EXTERIOR	3'-0"	7'-0"	1 3/4"	ALUMINUM STOREFRONT	--	--	EXISTING	EXIST.	ALUMINUM STOREFRONT	EXISTING	--	--	SEE SMT. A201	--	HM-2	EXISTING DOOR & FRAME IN PLACE.
3	DOG KENNELS 126	EXTERIOR	DBL 3'-0"	7'-0"	1 3/4"	HOLLOW METAL	INSUL	C	PAINT	61	HOLLOW METAL	PAINT			4		HM-3	
4	DOG KENNELS 126	EXTERIOR	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	INSUL	C	PAINT	61	HOLLOW METAL	PAINT			2		HM-4	
5	FEEDING AREA 120A	EXTERIOR	DBL 3'-0"	7'-0"	1 3/4"	HOLLOW METAL	INSUL	C	PAINT	61	HOLLOW METAL	PAINT			3		HM-3	
6	CORRIDOR 109	EXTERIOR	3'-0"	6'-8"	1 3/4"	HOLLOW METAL	--	A	PAINT	--	HOLLOW METAL	PAINT			1		--	EXISTING DOOR & FRAME IN PLACE.
7	LOBBY 101	VESTIBULE 100	3'-0"	7'-0"	1 3/4"	ALUMINUM STOREFRONT	--	--	EXISTING	EXIST.	ALUMINUM STOREFRONT	EXISTING	--	--	--	--	HM-2	EXISTING DOOR & FRAME IN PLACE.
8	RECEPTION 102	OFFICE 103	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	C	PAINT	62	HOLLOW METAL	PAINT			5		HM-5	
9	RECEPTION 102	FILES 104	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	C	PAINT	62	HOLLOW METAL	PAINT			1		HM-6	
10	CLOSET 105	LOBBY 101	DBL 3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B	PAINT	--	HOLLOW METAL	PAINT			3		HM-7	
11	SHERIFF'S DEPT. 200	LOBBY 101	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B	PAINT	--	HOLLOW METAL	PAINT			1		HM-8	
12	SHERIFF'S DEPT. 200	UNSEX TOILET 201	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B	PAINT	--	HOLLOW METAL	PAINT			1		HM-9	
13	LOBBY 101	PLAYROOM 106	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	D	PAINT	62	HOLLOW METAL	PAINT			6		HM-10	
14	LOBBY 101	PLAYROOM 107	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	D	PAINT	62	HOLLOW METAL	PAINT			6		HM-10	
15	CORRIDOR 109	BREAK ROOM 108	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B SIM.	PAINT	--	WOOD	PAINT			1, SIMILAR		--	EXISTING DOOR & FRAME IN PLACE.
16	CORRIDOR 109	SERVER ROOM 110	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B SIM.	PAINT	--	WOOD	PAINT			1, SIMILAR		--	EXISTING DOOR & FRAME IN PLACE.
17	CORRIDOR 109	OFFICE 111	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B SIM.	PAINT	--	WOOD	PAINT			1, SIMILAR		--	EXISTING DOOR & FRAME IN PLACE.
18	CLOSET 113	CORRIDOR 112	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B SIM.	PAINT	--	WOOD	PAINT			1, SIMILAR		--	EXISTING DOOR & FRAME IN PLACE.
19	CORRIDOR 112	MEN 114	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B SIM.	PAINT	--	WOOD	PAINT			1, SIMILAR		--	EXISTING DOOR & FRAME IN PLACE.
20	CORRIDOR 112	WOMEN 115	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B SIM.	PAINT	--	WOOD	PAINT			1, SIMILAR		--	EXISTING DOOR & FRAME IN PLACE.
21	CORRIDOR 112	STORAGE 116	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B SIM.	PAINT	--	WOOD	PAINT			1, SIMILAR		--	EXISTING DOOR & FRAME IN PLACE.
22	LOBBY 101	STORAGE 117	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B	PAINT	--	HOLLOW METAL	PAINT			1		HM-6	
23	CAT QUARTERS 119	CAT ISOLATION 118	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	D	PAINT	--	HOLLOW METAL	PAINT			5		HM-11	
24	LOBBY 101	CAT QUARTERS 119	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B	PAINT	--	HOLLOW METAL	PAINT			5		HM-10	
25	DOG KENNELS 120	LOBBY 101	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	C	PAINT	62	HOLLOW METAL	PAINT			1		HM-12	REFRAME ROUGH OPENING.
26	DOG KENNELS 120	MECH ROOM 122	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B SIM.	PAINT	--	WOOD	PAINT			1, SIMILAR		--	EXISTING DOOR & FRAME IN PLACE.
27	DOG KENNELS 120	UNSEX TOILET 123	3'-0"	6'-8"	1 3/8"	WOOD	SOLID	B SIM.	PAINT	--	WOOD	PAINT			1, SIMILAR		--	EXISTING DOOR & FRAME IN PLACE.
28	PROCEDURE 124	VET BATHROOM 125	3'-0"	6'-8"	1 3/4"	HOLLOW METAL	INSUL	B	PAINT	--	HOLLOW METAL	PAINT			1		HM-9	
29	FEEDING AREA 120A	PROCEDURE 123	3'-0"	6'-8"	1 3/4"	HOLLOW METAL	INSUL	C	PAINT	--	HOLLOW METAL	PAINT			1		HM-5	
30	ISOLATION 121	DOG KENNELS 120	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	INSUL	C	PAINT	62	HOLLOW METAL	PAINT			2		HM-1	
31	ISOLATION 121	DOG KENNELS 120	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	INSUL	C	PAINT	62	HOLLOW METAL	PAINT			2		HM-1	
32	DOG KENNELS 120	DOG KENNELS 126	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	INSUL	C	PAINT	62	HOLLOW METAL	PAINT			2		HM-11	
33	DOG KENNELS 120	DOG KENNELS 126	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	INSUL	C	PAINT	62	HOLLOW METAL	PAINT			2		HM-11	
34	MAIN ATTIC AREA	ATTIC ADV. SHERIFF	--	--	--	WOOD	--	--	--	--	WOOD ROUGH OPNG.	PAINT			--		--	EXIST. ATTIC DOOR SHALL REMAIN.
35	MAIN ATTIC AREA A	MAIN ATTIC AREA B	3'-0"	6'-8"	1 3/4" (+/-)	WOOD	--	B SIM.	--	--	WOOD ROUGH OPNG.	PAINT			--		HM-13	NEW ATTIC DRAFTSTOPPING DOOR.

10-05-2023  
 REVISED DOOR HARDWARE DESIGNATIONS. SEE HARDWARE SCHEDULE ALSO ISSUED WITH BID ADDENDUM # 1.

310 Valley Street NW  
 Abingdon, VA 24210  
 276.206.8571 - office  
 engineering  
 architecture  
 environmental  
**the LANE GROUP**  
 Abingdon | Big Stone Gap | Galax  
 www.thelanegrp.com

BUILDING RENOVATION FOR  
 WASHINGTON COUNTY, VIRGINIA  
 ANIMAL SHELTER  
 15050 LEE HIGHWAY  
 BRISTOL, VIRGINIA 24201

DOOR SCHEDULE

COMMONWEALTH OF VIRGINIA  
 D. MICHAEL WEAVER  
 LIC. NO. 9031  
 06-30-2023  
 ARCHITECT

DATE	08-30-2023
NO.	REVISION DATE
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PROJECT NO.	TLG-22138
THE LANE GROUP INC.	



**SIGN SCHEDULE**

MARK	SIGN TEXT	NOTES
A	UNISEX	1, 2
B	DOG KENNELS	1, 2
C	MECHANICAL	1, 2
D	PROCEDURE	1, 2

**SIGN SCHEDULE NOTES**

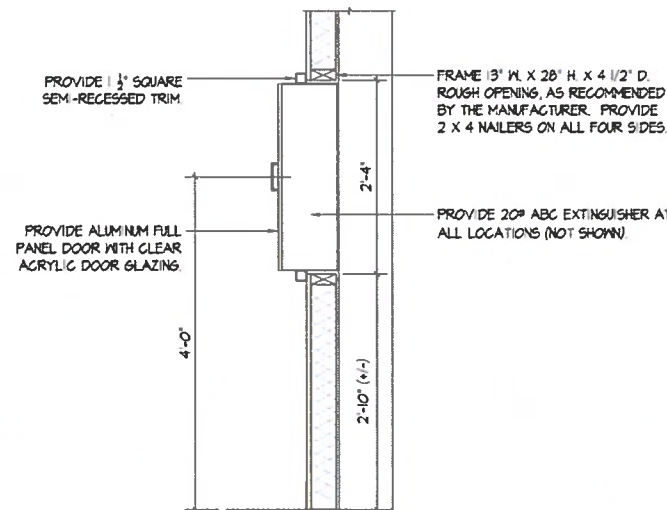
- INTERIOR SIGNAGE SYSTEM SHALL COMPLY WITH ALL CURRENT AND APPLICABLE ADA REQUIREMENTS INCLUDING THOSE REGARDING WHICH SIGN TYPES REQUIRE PICTOGRAMS AND/OR BRAILLE / TACTILE FEATURES. CHARACTER HEIGHTS, COLOR CONTRAST, INSTALLATION LOCATIONS, AND MOUNTING HEIGHTS SHALL BE ADA COMPLIANT.
- BASIS OF DESIGN FOR SIGNAGE IS THE "FULL-VIEW" LOW-PROFILE MODULAR SIGN SYSTEM AS MANUFACTURED BY APCO SIGNS. THIS IS NOT MEANT TO BE PROPRIETARY. MANUFACTURERS WHO REGULARLY ENGAGE IN THE FABRICATION OF SIMILAR SIGNAGE SYSTEMS WILL BE GIVEN CONSIDERATION AS AN EQUAL PRODUCT.

**APPLIANCE AND ACCESSORY SCHEDULE**

DESCRIPTION	MANUFACTURER	MODEL NO.	NOTES
REFRIGERATOR	GE "PROFILE"	GTS22JENR55	NOTES 1, 2, AND 3
UNDERCOUNTER REFRIGERATOR	GE	6CE0665H5B	NOTES 1, 2, AND 4
DISHWASHER	GE "PROFILE"	6DT650SYVFS	NOTES 1, AND 2
FREEZER	GE "PROFILE"	FGM22DLMM	NOTES 1, 2, AND 5
WASHER	GE COMMERCIAL	6FY6505GNMM	NOTES 1, 2, AND 6
DRYER	GE COMMERCIAL	6FD55E5GNMM	NOTES 1, 2, AND 6
EXAMINATION TABLE	VETLIFT / PETLIFT	VL-TEZ-4095E-BLK	ROOM # 124.
DOG BATH/TUB	BOOSTER BATH	LARGE SIZE RED COLOR	ROOM # 124.
3'-0" WIDE DOG KENNEL DOOR	DIRECT ANIMAL PRODUCTS, INC.	D1036-KD	ROOMS # 120 & 126
4'-0" WIDE DOG KENNEL DOOR	DIRECT ANIMAL PRODUCTS, INC.	D1048-KD WITH PARTITION	ROOM # 121.
6'-0" WIDE DOG KENNEL DOOR	DIRECT ANIMAL PRODUCTS, INC.	D1072-KD WITH PARTITION	ROOM # 126.
CROSS VENTILATION PANELS	DIRECT ANIMAL PRODUCTS, INC.	D1071-CVP (16 1/2" H. X 10 3/4" L.)	ROOMS # 120, 121 & 126.
DOG KENNEL AMENITIES	DIRECT ANIMAL PRODUCTS, INC.	SEE NOTE 10, BELOW	ROOMS # 120, 121 & 126.
CAT CONDOS	DIRECT ANIMAL PRODUCTS, INC.	SEE NOTE 8, BELOW	ROOMS # 118 & 119.
GUILLOTINE KENNEL DOOR	SECURITY BOSS	LARGE - PREMIUM	SEE NOTE 9, BELOW

**APPLIANCE AND ACCESSORY SCHEDULE NOTES**

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL APPLIANCES AND ACCESSORIES UNLESS NOTED OTHERWISE.
- IN THE EVENT THAT THE MODEL NUMBER SCHEDULED FOR ANY DEVICE IS NO LONGER AVAILABLE, CONTACT THE ARCHITECT FOR A REPLACEMENT MODEL NUMBER.
- REFRIGERATORS, TOTAL OF 4, SHALL BE LOCATED IN SHERIFF'S DEPT. ROOM # 200, CAT QUARTERS ROOM # 119, BREAK ROOM # 108, AND FEEDING AREA # 120A. ALL REFRIGERATORS 21.9 CU. FT. / STAINLESS STEEL FINISH WITH ICE MAKER.
- 5.6 CUBIC FOOT UNDERCOUNTER REFRIGERATOR, ADA COMPLIANT, ENERGY STAR RATED STAINLESS STEEL FINISH.
- THE FREEZER SHALL BE LOCATED IN THE FEEDING AREA # 20A. FREEZER SHALL BE 2.7 CU. FT. / WHITE FINISH.
- THE STACKABLE WASHERS AND DRYERS SHALL BE LOCATED IN PROCEDURE ROOM # 124. SEE INTERIOR ELEVATION A/A102.
- DOG KENNEL DOORS SHALL BE AS MANUFACTURED BY DIRECT ANIMAL PRODUCTS, INC. PROVIDE 5' X 1' STAINLESS STEEL CARD HOLDER AT EACH DOOR. CONTACT sales@directanimal.com.
- CAT CONDOS SHALL BE AS MANUFACTURED BY DIRECT ANIMAL PRODUCTS, INC. PROVIDE A TRIPLE STACKED CUSTOM CONFIGURATION AS PROPOSED BY THE MANUFACTURER. X 5 UNITS WIDE. UNITS SHALL BE COMPOSED OF CONDOS TYPE 1200-315 (LEFT END), 1200-345 (CENTER UNITS), AND 1200-375 (RIGHT END). CONTACT sales@directanimal.com.
- THE GUILLOTINE KENNEL DOORS SHALL BE AS MANUFACTURED BY SECURITY BOSS PET DOORS, INC. GUILLOTINE DOORS SHALL BE "KENNEL CLAD PREMIUM INSULATED UNITS", LARGE SIZE (17Y. X 24H). CONTACT SALES AT (608)-941-562.
- EACH OF THE THIRTY-FIVE (35) DOG KENNELS SHALL BE EQUIPPED WITH A ROTATING FOOD BOWL SYSTEM 1036-BF, STAINLESS STEEL CARD HOLDER CHRD-5 X 1, AND STANLITE RESTING BENCH D1036-SLRBLU COLOR, AS MANUFACTURED BY DIRECT ANIMAL PRODUCTS, INC. NOTE THAT THESE AMENITIES REFER TO ONE SIDE ONLY AND NOT TO THE SIDE THAT IS ACCESSIBLE THROUGH THE GUILLOTINE DOORS.
- FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR. BASIS OF DESIGN FOR FIRE EXTINGUISHER CABINETS SHALL BE MODEL # 2712-RA SEM-RECESSED CABINET AS MANUFACTURED BY LARSEN'S MANUFACTURING COMPANY. INSTALL CABINETS AT AN ADA COMPLIANT HEIGHT.



**A FIRE EXTINGUISHER CABINET DETAIL**

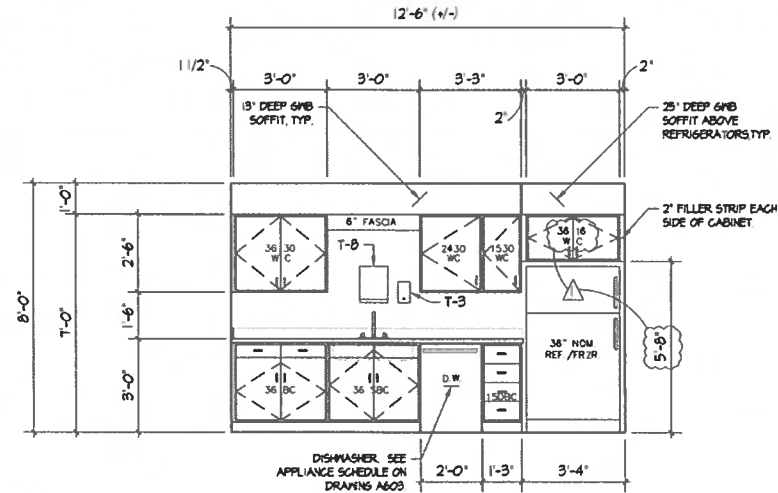
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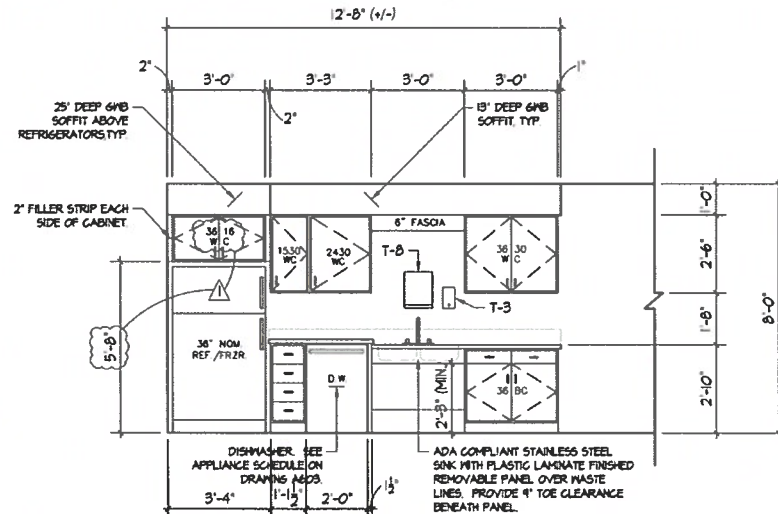
NO.	REVISION DATE
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10-05-2023  
 ADDED CROSS VENTILATION PANELS AND DOG KENNEL AMENITIES TO ACCESSORY SCHEDULE

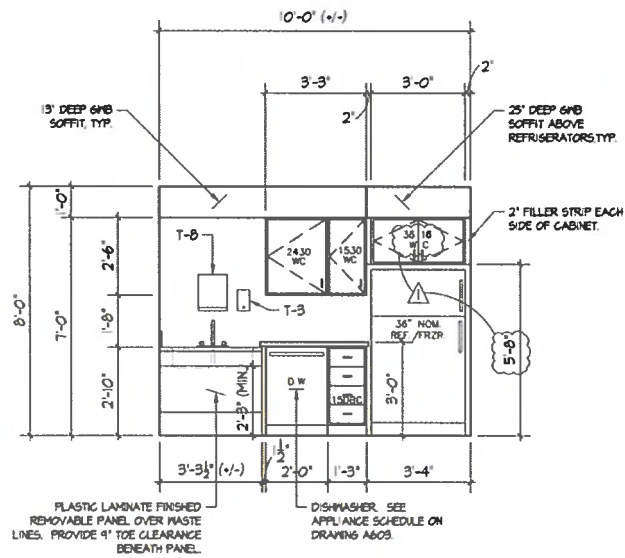




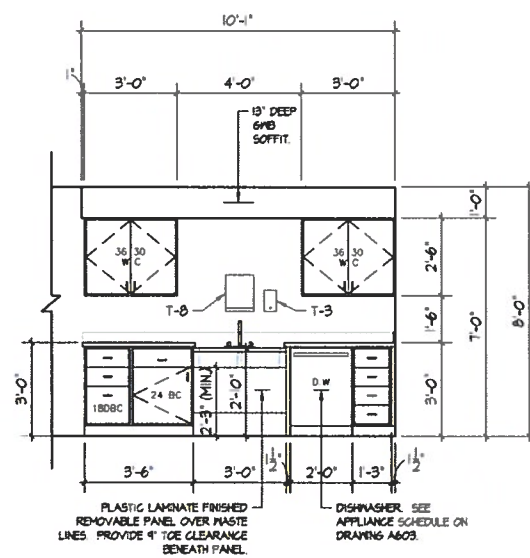
**E SHERIFF'S DEPARTMENT CASEWORK**  
 A401 SCALE: 3/8" = 1'-0"



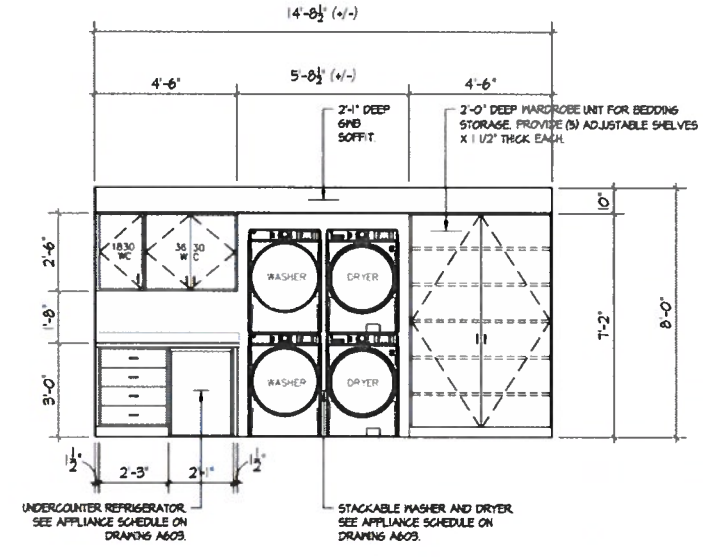
**D CAT QUARTERS CASEWORK**  
 A401 SCALE: 3/8" = 1'-0"



**C BREAK ROOM CASEWORK**  
 A401 SCALE: 3/8" = 1'-0"



**B FEEDING AREA CASEWORK**  
 A401 SCALE: 3/8" = 1'-0"



**A PROCEDURE ROOM CASEWORK**  
 A401 SCALE: 3/8" = 1'-0"

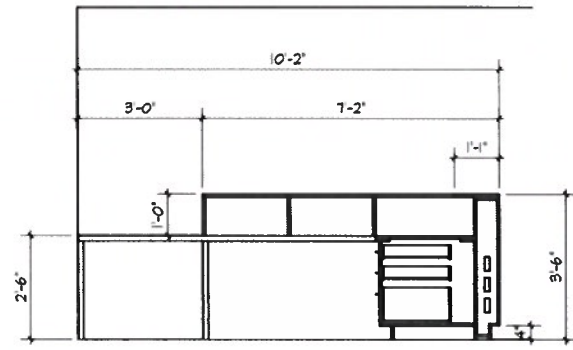
10-05-2023  
 DIMENSIONAL CHANGES AT REFRIGERATORS.

**CABINET ABBREVIATION INDEX**

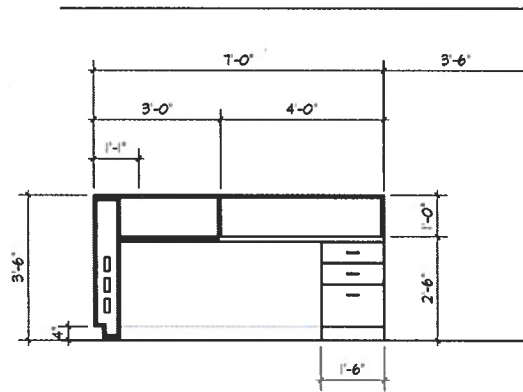
- BC BASE CABINET (32 1/2" HIGH x 24" DEEP CABINET, TYPICAL)
- CBC COUNTER BASE CABINET (30 1/2" HIGH x 24" DEEP CABINET, TYPICAL)
- CDBC COUNTER DRAWER BASE CABINET (30 1/2" HIGH x 24" DEEP CABINET, TYPICAL)
- DBC DRAWER BASE CABINET (32 1/2" HIGH x 24" DEEP CABINET, TYPICAL)
- DKD DESK KNEE DRAWER (KNEE SPACE WIDTH x 24" DEEP, TYPICAL)
- ODBC OPEN-FRONT DESK BASE CABINET (30 1/2" HIGH x 24" DEEP CABINET, TYPICAL)
- OCBC OPEN-FRONT COUNTER BASE CABINET (30 1/2" HIGH x 24" DEEP CABINET, TYPICAL)
- SBC SINK BASE CABINET (32 1/2" HIGH x 24" DEEP CABINET, TYPICAL)
- WC WALL CABINET (12" DEEP CABINET, TYPICAL)



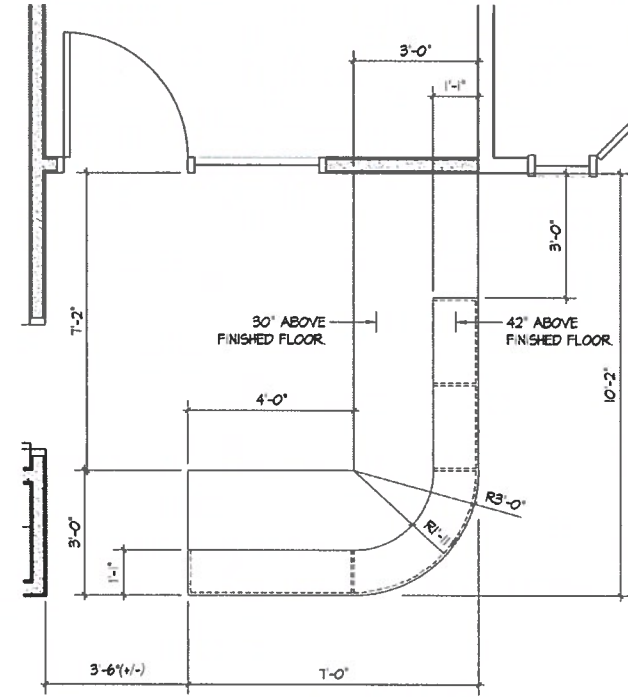
DATE	06-30-2023
NO.	REVISION DATE
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PROJECT NO.	TLG-22136
<b>A702</b>	
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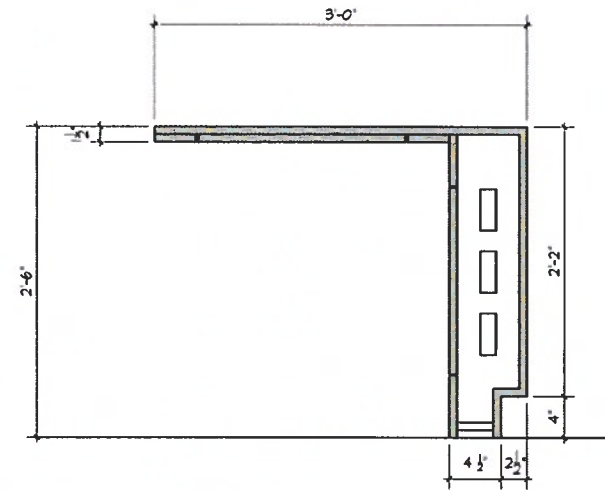
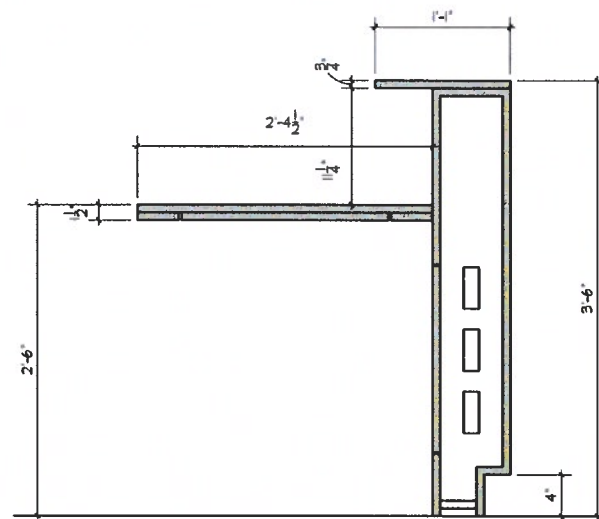
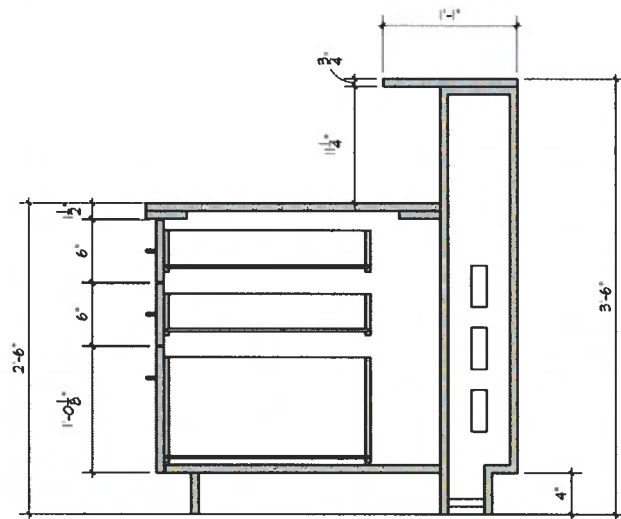
**C** RECEPTION DESK ELEVATION  
A103 SCALE: 1/2" = 1'-0"



**B** RECEPTION DESK ELEVATION  
A103 SCALE: 1/2" = 1'-0"



**A** RECEPTION DESK PLAN  
A103 SCALE: 1/2" = 1'-0"



10-05-2023  
DRAWING A103 ISSUED BY BID ADDENDUM # 1.



DATE	08-30-2023
NO.	REVISION DATE
1	10-05-2023
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<b>A703</b>	
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PROJECT NO	TLG-22138
THE LANE GROUP INC.	